

## ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, December 21, 2020 - 4:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

II. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding possible legal issues related to Airport pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

III. Adjourn Executive Session

IV. Reconvene Public Meeting (6:00 P.M.)

V. Invocation and Pledge of Allegiance - Councilmember Macalik

VI. Open Forum

VII. Take any Action as a Result of Executive Session

VIII. Consent Agenda

1. Consider approval of the minutes from the December 7, 2020 regular City Council meeting, and take any action necessary.
2. **P2020-047** - Consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a *Preliminary Plat* for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

IX. Public Hearing Items

1. **Z2020-041** - Hold a public hearing to discuss and consider approval of an **ordinance** for a *Text Amendment* to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary (**1st Reading**).
2. **Z2020-048** - Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary (**1st Reading**).

3. **Z2020-049** - Hold a public hearing to discuss and consider a request by Sam Hernandez for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary **(1st Reading)**.
4. **Z2020-050** - Hold a public hearing to discuss and consider a request by Perry Bowen on behalf of Kyle Bryan for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary **(1st Reading)**.
5. **Z2020-051** - Hold a public hearing to discuss and consider a request by Travis Redden for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary **(1st Reading)**.
6. **Z2020-052** - Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of an **ordinance** for a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary **(1st Reading)**.
7. **Z2020-053** - Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of an **ordinance** for a *Zoning Change* from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary **(1st Reading)**.
8. **Z2020-054** - Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary **(1st Reading)**.

**X. Action Items**

1. Discuss and consider a request related to the naming of the swimming pool located at Gloria Williams Park, and take any action necessary.
2. **MIS2020-016** - Discuss and consider a request by Charles Smith of Pentagon on behalf of Dynacap Holdings Limited for the approval of a Miscellaneous Request for a variance to the proximity requirements for the sale of alcoholic beverages stipulated by the Unified Development Code (UDC) for a 2.202-acre tract of land identified as Tract 12 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH30 Overlay (IH-30 OV) District, addressed as 1541 E. IH-30, and take any action necessary.
3. Discuss and consider the Rockwall Police Department's strategic plan, and take any action necessary.
4. Discuss and consider submission of future transportation-related projects to the Rockwall County Roadway Consortium, and take any action necessary.

**XI. City Manager's Report, Departmental Reports and related discussions pertaining to current city activities, upcoming meetings, future legislative activities, and other related matters.**

**XII. Executive Session.**

**The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:**

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding possible legal issues related to Airport pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

**XIII. Reconvene Public Meeting & Take Any Action as Result of Executive Session**

**XIV. Adjournment**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 18th day of December, 2020 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

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Kristy Cole, City Secretary  
or Margaret Delaney, Asst. to the City Sect.

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Date Removed

**ROCKWALL CITY COUNCIL REGULAR MEETING**

**Monday, December 07, 2020 - 5:00 PM**

**City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087**

**I. CALL PUBLIC MEETING TO ORDER**

Mayor Pro Tem Fowler called the meeting to order at 5:00 p.m. Present were Mayor Pro Tem Kevin Fowler and Council Members Dana Macalik, John Hohenshelt, Bennie Daniels and Trace Johannesen. Also present were City Manager Rick Crowley, Assistant City Managers Mary Smith and Joey Boyd, and City Attorney Frank Garza. Mayor Jim Pruitt was present, virtually, via ZOOM. Councilmember Anna Campbell was absent from the meeting.

Mayor Pro Tem Fowler read the below listed discussion items into the record before recessing the public meeting to go into Executive Session at 5:01 p.m.

**II. EXECUTIVE SESSION.**

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding agreements between the City of Rockwall and Blackland Water Supply Corporation (WSC) pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

**III. ADJOURN EXECUTIVE SESSION**

**Council adjourned from Executive Session at 5:45 p.m.**

**IV. RECONVENE PUBLIC MEETING (6:00 P.M.)**

Mayor Pro Tem Fowler reconvened the meeting at 6:00 p.m. Five of the seven council members were present in person, with Mayor Pruitt participating virtually via ZOOM, and Council Member Campbell being absent.

**V. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER CAMPBELL**

**Councilmember Johannesen delivered the invocation and led the Pledge of Allegiance.**

**VI. OPEN FORUM**

Mayor Pro Tem Fowler explained how Open Forum is conducted, asking if anyone would like to come forth and speak. There being no one indicating such, he then closed Open Forum.

**VII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION**

**Councilmember Macalik moved to reappoint Eric Chodun and Jerry Welch to an additional three-year term to the Planning & Zoning Commission thru August of 2023. Councilmember Johannesen seconded the motion, which passed by a vote of 6 ayes with 1 absence (Campbell).**

**Macalik also moved to appoint Ginger Womble to the ART Commission to replace Betty Hougland (with a term to run thru August of 2022). Councilmember Johannesen seconded the motion, which passed by a vote of 6 ayes with 1 absence (Campbell).**

**VIII. CONSENT AGENDA**

1. Consider approval of the minutes from the November 16, 2020 regular City Council meeting, and take any action necessary.
2. **Z2020-043** - Consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an **ordinance** amending an existing *Specific Use Permit* for the purpose of increasing the number of storage units permitted by *Ordinance No. 14-25* to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary **(2nd Reading)**.
3. **Z2020-044** - Consider a request by Casey Cox of Costal Plains Estates for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary **(2nd Reading)**.
4. **Z2020-046** - Consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary **(2nd Reading)**.
5. **P2020-048** - Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a *Replat* for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.
6. Consider approval of an emergency purchase of a pump at the FM 3097 Lift Station in the amount of \$60,877.58 and authorizing the City Manager to execute a purchase order to Barco Pump to be funded out of the Water and Sewer Fund, Wastewater Operations Budget, and take any action necessary.
7. Consider approval of a bid award for the purchase of a Police accident/crime scene reconstruction system in the amount of \$57,541.40 and authorizing the City Manager to execute a purchase order to FARO Technologies to be funded out of General Fund Reserves, and take any action necessary.
8. Consider adoption of a resolution setting solid waste collection rates, and take any action necessary.

**Councilmember Hohenshelt moved to approve the entire Consent Agenda (#s 1, 2, 3, 4, 5, 6, 7, and 8). Councilmember Johannesen seconded the motion. The ordinance captions were read as follows:**

CITY OF ROCKWALL  
ORDINANCE NO. 20-47  
SPECIFIC USE PERMIT NO. S-235

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *EXISTING MINI-WAREHOUSE FACILITY* ON A 2.857-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK A, PLATINUM STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL  
ORDINANCE NO. 20-48  
SPECIFIC USE PERMIT NO. S-236

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL  
ORDINANCE NO. 20-49  
SPECIFIC USE PERMIT NO. S-237

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.15-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK E, CHANDLER'S LANDING, PHASE 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;

## **PROVIDING FOR AN EFFECTIVE DATE.**

**The motion passed by a vote of 6 ayes with 1 absent (Campbell).**

### **IX. APPOINTMENT ITEMS**

1. Appointment with Randall Bryant to discuss and consider a request related to the naming of the swimming pool located at Gloria Williams Park, and take any action necessary.

**Randall Bryant  
2603 Norwood Drive  
Dallas, TX 75228**

**Mr. Bryant came forth and explained that two months ago he came to Council and indicated he would attempt to locate members of the Gloria Williams family to discuss this matter with them, especially related to the ‘anonymously submitted opposition’ concerning the potential renaming of this swimming pool. However, he has not had success in securing an opportunity to speak to the Williams family, despite having passed his request and phone number along to the Williams’ family via city staff. He went on to respectfully request that the Council go ahead and move forward with taking action on his request to rename the swimming pool after Ruby Dabney.**

**Mayor Pro Tem Fowler expressed a desire to have some additional information to review before moving forward with formal action on this request. As such, indication was given that this will be brought back before City Council as an “Action Item” at the next city council meeting.**

**Pricylla Bento  
2002 S. Lakeshore Drive  
Rockwall, TX**

**Ms. Bento came forth and shared that she is in support of the request to rename the swimming pool, and she generally encouraged the Council to move forward with renaming the swimming pool in Mrs. Dabney’s honor.**

2. Appointment with Rockwall resident Patty Griffin, 2140 Airport Road, regarding Blackland Water Supply Company’s (WSC) customer services policies and procedures, and take any action necessary.

**Patty Griffin came forth and shared that she owns the property at 2140 Airport Road. Ms. Griffin generally explained that she had a renter living in this home on Airport Road for a period of time, and that renter did not ever pay her water bill. So, Blackland shut off the water for ‘non-payment’ and indicated that the property owner is responsible for the outstanding, unpaid water bill, including all late fees that accumulated. She went on to basically explain the play-by-play of the events associated with the unpaid water bill, late fees, the water being turned off, turned back on and turned off again. She shared that 15 years ago, this property was annexed into the City of Rockwall, and she believes that – since it was annexed by the City years ago – city services, including city provided water should be extended to her address. She went on to speak about the contracts that are in place related to Blackland Water Supply furnishing water to her address and the immediate area in**

general. She wants the City Council to look into what it would take for the City of Rockwall to purchase the rights to serve her and her neighbor's addresses with CITY provided water.

Mayor Pro Tem Fowler asked staff to explain how services end up being extended to properties after they are annexed into the City. Mr. Crowley and Mrs. Smith from the City Manager's Office both briefly replied, explaining – in general – that the process to potentially purchase the 'right to serve' previously annexed properties can take a long period of time. The cases usually end up with the Public Utility Commission (PUC) and involve a lot of negotiation to arrive at a price. City Attorney Frank Garza generally indicated that, even if Blackland was willing to give up the 'right to serve,' the City of Rockwall could not currently serve this particular area.

General discussion took place pertaining to Blackland Water Supply Company and the City of Rockwall evaluating 'the right to serve' this and other previously annexed areas that have been brought into its city limits.

Council generally indicated that it will in fact look into this matter. However, it is uncertain how things will play out. No action was taken at this time as a result of the discussion.

**X. ACTION ITEMS**

1. **MIS2020-016** - Discuss and consider a request by Charles Smith of Pentagon on behalf of Dynacap Holdings Limited for the approval of a Miscellaneous Request for a variance to the proximity requirements for the sale of alcoholic beverages stipulated by the Unified Development Code (UDC) for a 2.202-acre tract of land identified as Tract 12 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1541 E. IH-30, and take any action necessary.

Planning Director Ryan Miller provided background information pertaining to this agenda item. He generally explained that the applicant currently owns the building in question, and a portion of the property is occupied by a church (tenant). He would like to place a winery in the other portion of the building. In order to do so, Mr. Miller, generally explained, the applicant will need to obtain a variance to the proximity requirements associated with the sale of alcoholic beverages.

**Mr. Charles Smith**  
611 E. Boydston  
Rockwall, TX

Mr. Smith came forth and introduced himself generally indicating that the church (current tenant) is okay with this winery being placed at this location; however, at this point it was only a verbal conversation, and he does not yet have the church's 'okay' in writing.

Mayor Pruitt moved to table this item in order to allow time for the applicant to obtain a letter from the church to indicate the church is in fact okay with this request. He would also like written indication from the school district and any other pertinent parties that may have an interest in this request as to whether or not they're okay with the request too. Councilmember Daniels seconded the motion. After brief discussion, the motion passed by a vote of 6 ayes with 1 absence (Campbell).

2. **MIS2020-017** - Discuss and consider a request by Jim Ziegler of PegasusAblon on behalf of Ablon at Harbor Village, LP for the approval of a *Miscellaneous Request* for a variance to the underground utility requirements stipulated by the Municipal Code of Ordinances and the Unified Development Code (UDC) for a 1.064-acre parcel of land identified as Lot 11, Block A, The Rockwall-Harbor Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located between 2125 & 2600 Lakefront Trail, and take any action necessary.

**Planning Director Ryan Miller provided background information pertaining to this agenda item. The applicant, Jim Ziegler, came forth and shared that he would like his garage to have power, and that is the reason behind this request. Councilmember Hohenshelt moved to approve MIS2020-017. Councilmember Johannesen seconded the motion, which passed by a vote of 6 ayes with 1 absence (Campbell).**

3. Discuss and consider 2021-2031 Park Master Plan, and take any action necessary.

**Parks Director, Travis Sales shared that this plan has taken about a year to complete (COVID has delayed it by a few months, overall). MHS Planning & Design is the consulting firm that was hired to undertake this planning project, and staff (including the Planning Department) worked closely with MHS to complete it. The Park Board has also provided input into the process. The purpose of the plan is that it will be used for guidance over the course of the upcoming ten year period to help the city plan and address parks and recreation related needs and desires.**

**Kevin Johnson  
Park Board Chairman  
944 Sunset Hill Drive  
Rockwall, TX 75087**

**Hunter Rush  
MHS Planning & Design**

**Mr. Rush came forth and provided a presentation to Council to brief members on the new Park Master Plan that has been developed.**

**Following Mr. Rush's presentation, City Manager Rick Crowley provided follow-up comments, pointing out that specific costs and funding plans for every project would have to be developed and evaluated in the future. The Park Dedication regulations and associated fees were touched on as well as previous, voter-approved funding for a large community park in the south side of the city. Mr. Crowley pointed out that locating and securing land for a south community park has been challenging.**

**Councilmember Johannesen moved to approve the 2021-2031 Park Master Plan as presented. Councilmember Macalik seconded the motion, which passed by a vote of 6 ayes with 1 absence (Campbell). (See adopted resolution No. 20-17).**

4. Discuss and consider 2021, 1st quarter Parks & Recreation Events, and take any action necessary.

**Mr. Sales, Parks Director, came forth and shared that regarding the upcoming Daddy Daughter Dance, because of the COVID-19 pandemic, the Hilton Hotel is requiring that the body temperature of each attendee be checked outside of the hotel before entrance into the hotel will be permitted. Mr. Sales shared that over 750 people typically attend this event. Brief discussion took place related to how staff will manage taking temperatures while also managing and hosting the event. It was suggested that the city hold two, separate ticketed events to ‘break up’ the crowd and limit the attendance, per event. Councilmember Macalik indicated that she is not in favor of it being held at all (even if broken up into two, separate events); however, the majority of Council members did generally indicate that they are ok with moving forward with two, separate Daddy Daughter Dance events.**

**Brief discussion ensued pertaining to other, proposed and upcoming Parks & Rec events. Council took no formal action pertaining to this discussion item.**

5. Discuss and consider on-street parking related concerns on Kyle Drive, Industrial Boulevard and Justin Road, including consideration of an **ordinance** amending the Code of Ordinances in Ch. 26 'Motor Vehicles & Traffic,' Article VII. 'Stopping, Standing or Parking,' Section 26-505 'Prohibited in Specific Places' to address prohibition of parking, and take any action necessary. **(1<sup>st</sup> Reading)**

**Assistant City Manager Joey Boyd provided background information pertaining to this agenda item. Indication was given that about 5 years ago, a crosswalk was installed and ‘no parking signs’ were erected on Kyle Drive at the request of the school district; however, staff recently discovered that no ordinance prohibiting parking along this stretch of road was actually ever adopted. Therefore, it has not been enforceable. So, at a minimum Council is being asked to consider an ordinance prohibiting parking along Kyle Drive. In addition, Mr. Boyd shared details about parking along Industrial and Justin Road, sharing that the Council may wish to consider ‘no parking’ along these stretches of roadway as well.**

**Clarification was given that the draft ordinance that has been brought before the Council this evening only reflects prohibition of parking along Kyle Drive. Mr. Boyd shared that, if Council is ok with staff doing so, staff would like to just watch and keep an eye out on Industrial and Justin Road before potentially moving forward with parking prohibitions along those roadways.**

**Councilmember Hohenshelt expressed disagreement with instituting “no parking” along Kyle Drive thru passage of an ordinance, especially considering that drivers from “visiting sports teams” (associated with the high school) have no other good place to park, and they do and will continue to park along the Kyle Drive roadway.**

**City Engineer Amy Williams shared that, yes, the street was designed to accommodate “on street” parking. Following brief, additional comments, Councilmember Johannesen moved to remove the “no parking signs” from Kyle Drive and to actually allow it to be utilized for on-street parking. Mayor Pruitt seconded the motion. The motion passed by a vote of 5 ayes, 1 nay (Macalik) and 1 absence (Campbell).**

6. Discuss and consider submission of future transportation-related projects to the Rockwall County Roadway Consortium, and take any action necessary.

**Indication was given that this item will be delayed until the next, regular city council meeting. So, no discussion took place concerning this item, and no action was taken.**

**XI. CITY MANAGER'S REPORT, DEPARTMENTAL REPORTS AND RELATED DISCUSSIONS PERTAINING TO CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.**

1. Building Inspections Monthly Report - November 2020
2. Fire Department Monthly Report - October 2020
3. Parks & Recreation Monthly Report - October 2020
4. Police Department Monthly Report - October 2020
5. Sales Tax Historical Comparison
6. Water Consumption Historical Statistics

**City Manager Rick Crowley shared that staff is happy to answer any questions Council may have pertaining to monthly reports. There being no questions, Mayor Pro Tem Fowler summarized some recent city-related events that were held (i.e. annual Christmas parade and tree lighting). Council took no action pertaining to these reports.**

**XII. EXECUTIVE SESSION.**

**THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:**

1. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding agreements between the City of Rockwall and Blackland Water Supply Corporation (WSC) pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

**XIII. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

**Council did not reconvene in Executive Session following the close of the public meeting agenda. See action taken after the "Call to Order" (at 6:00 p.m.) above.**

**XIV. ADJOURNMENT**

**Mayor Pro Tem Fowler adjourned the meeting at 7:30 p.m.**

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 21<sup>st</sup> DAY OF DECEMBER, 2020.**

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**JIM PRUITT, MAYOR**

**ATTEST:**

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**KRISTY COLE, CITY SECRETARY**



## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** P2020-047; PRELIMINARY PLAT FOR PHASE 3 OF THE SADDLE STAR ESTATES SOUTH SUBDIVISION

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### Attachments

Case Memo  
Development Application  
Location Map  
Preliminary Plat  
Preliminary Utility Plan

### Summary/Background Information

Consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a *Preliminary Plat* for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

### Action Needed

The City Council is being asked to [1] approve, [2] approve with condition, or [3] deny the preliminary plat.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Mayor and City Council

**DATE:** December 21, 2020

**APPLICANT:** Pat Atkins; *KPA Consulting*

**CASE NUMBER:** P2020-047; *Preliminary Plat for Phase 3 of the Saddle Star Estates South Subdivision*

### SUMMARY

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

### PLAT INFORMATION

The purpose of the applicant's request is to preliminary plat Phase 3 of the Saddle Star Estates South Subdivision. This phase of the subdivision is comprised of 33 single-family residential lots on a 14.995-acre tract of land, of which 2.853-acres will be reserved for open space. Phase 3 will consist of 33 *Type 'B' Lots (i.e. 80' x 125' or a minimum of 10,000 SF)*. Staff should note that Phases 1 & 2 will consist of 153 *Type 'A' Lots (i.e. 70' x 125' or a minimum of 8,750 SF)*. In addition to the preliminary plat, the applicant has also submitted a preliminary utility plan indicating the proposed locations for the water and sanitary sewer lines, and the proposed fire hydrants and sanitary sewer manholes. The applicant will be required to submit a preliminary landscape and treescape plan along with the PD Site Plan, and this has been add to the conditions of approval for this case. The following is the proposed lot composition of Phase 3 of the Saddle Star Estates South Subdivision:

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
<i>A</i>	<i>70' x 125'</i>	<i>8,750 SF</i>	<i>153</i>	<i>78.44%</i>
<i>B</i>	<i>80' x 125'</i>	<i>10,000 SF</i>	<i>33</i>	<i>21.56%</i>
			<i>186</i>	<i>100%</i>

On January 22, 2019, the City Council approved *Ordinance No. 19-07 [Case No.A2018-004]* voluntarily annexing of the subject property. The purpose of this annexation was to incorporate it into Planned Development District 79 (PD-79). On September 13, 2019, the applicant submitted an application requesting to amend PD-79 [*Ordinance No. 16-39*] for the purpose of amending the development standards and concept plan and incorporating the additional 14.995-acre tract of land into the existing 55.413-acre tract of land to create an additional phase (*i.e. Phase III*) of the Saddle Star Estates Subdivision. This amendment increased the total acreage of the subdivision to 70.408-acres.

On December 1, 2020, the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed subdivision:

- (1) The developer shall pay pro-rata equipment fees of \$30,723.00 (*i.e. \$931.00 x 33 lots*), which will be due at the time of final plat.
- (2) The developer shall pay cash-in-lieu of land fees of \$32,472.00 (*i.e. \$984.00 x 33 lots*), which will be due at the time of final plat.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the preliminary plat for *Phase 3 of the Saddle Star Estates South Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) A landscape and treescape plans shall be submitted and approved along with the PD Site Plan;
- (3) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (4) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat with the conditions of approval by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 3076 Hays Ln.

Subdivision Saddle Star South Phase 3

Lot

Block

General Location East of John Lewis & South of RM 552

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development 70

Current Use UNDEVELOPED

Proposed Zoning

Proposed Use

Acreage 14.995

Lots [Current]

33

Lots [Proposed]

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CDT Rockwall 2017

Applicant KPA CONSULTING INC

Contact Person PAT ATKINS

Contact Person PAT ATKINS

Address 3076 Hays Ln.

Address 3076 Hays Ln.

City, State & Zip Rockwall, Texas 75087

City, State & Zip Rockwall TX 75087

Phone 972-388-6383

Phone 972-388-6383

E-Mail KPATATKINS@KPA.COM

E-Mail KPATATKINS@KPA.COM

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of November, 20 20.

Owner's Signature

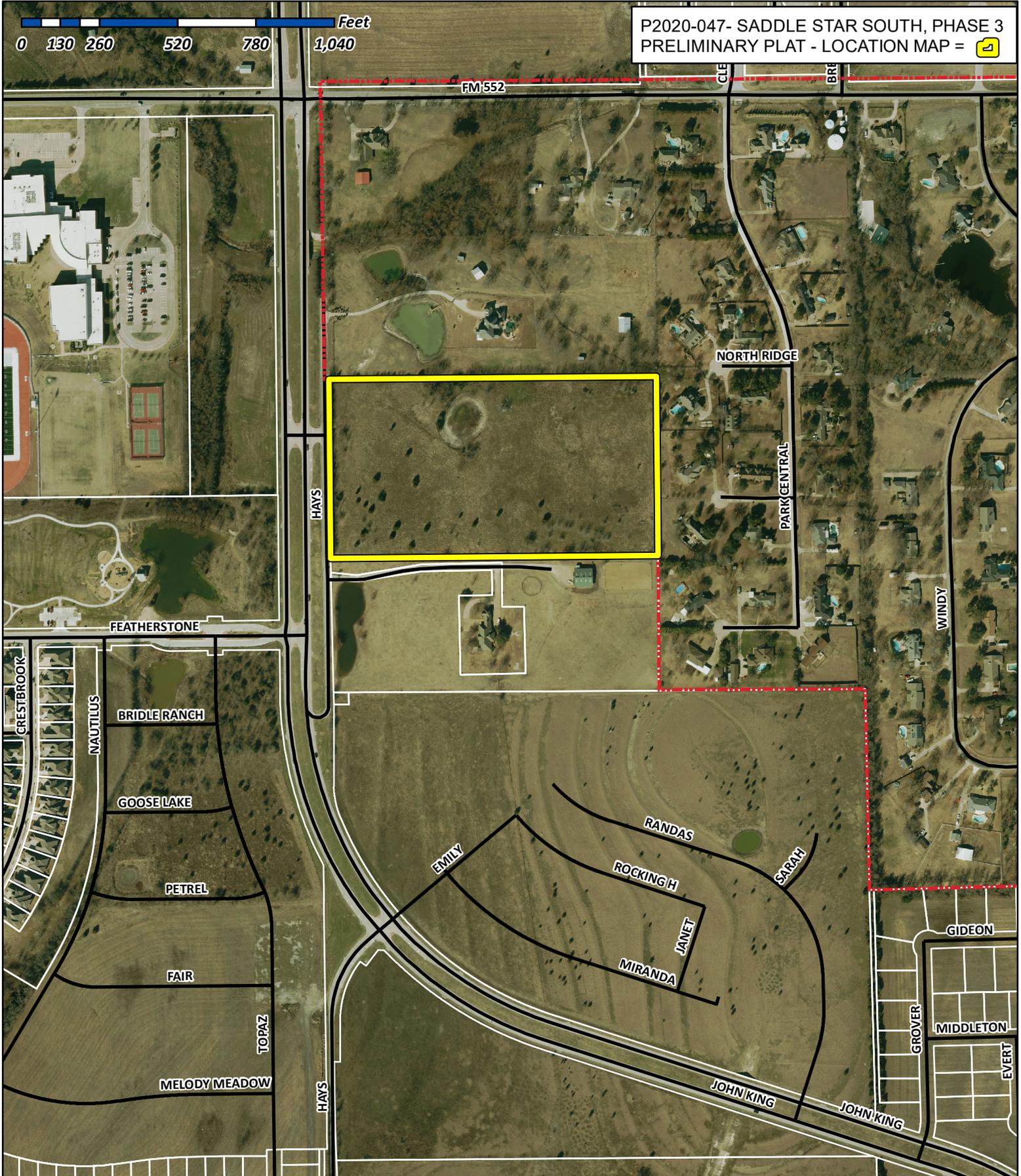
Notary Public in and for the State of Texas



15

0 130 260 520 780 1,040 Feet

P2020-047- SADDLE STAR SOUTH, PHASE 3  
PRELIMINARY PLAT - LOCATION MAP = 

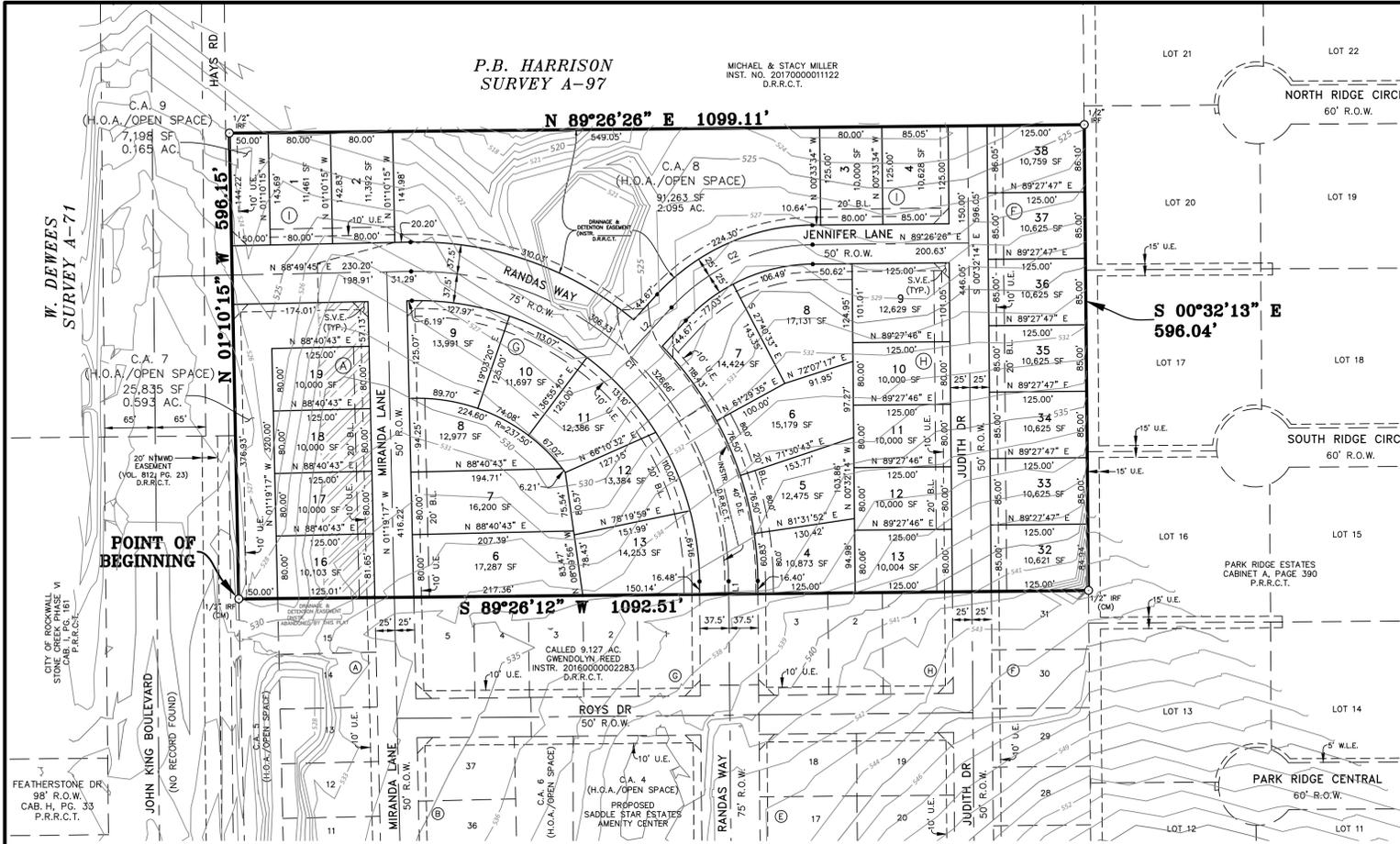


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:  
 That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.  
 GIVEN UNDER MY HAND AND SEAL THIS \_\_\_ DAY OF \_\_\_\_\_, 2020.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on November 12, 2020 for review by the City and other parties for comments and progression to an approved Preliminary Plat.

ROBERT C. MYERS  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 STATE OF TEXAS NO. 3963



VICINITY MAP  
 N.T.S.

**REVIEWED FOR PRELIMINARY APPROVAL**

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED FOR PREPARATION OF FINAL PLAT**

Mayor, City of Rockwall \_\_\_\_\_ City Secretary \_\_\_\_\_ City Engineer \_\_\_\_\_

**LEGEND**

IRF	IRON ROD FOUND
B.L.	BUILDING SETBACK LINE
CM	CONTROL MONUMENT
D.E.	DRAINAGE EASEMENT
HOA	HOMEOWNERS ASSOCIATION
S.V.E.	20'-20' SIDEWALK AND VISIBILITY EASEMENT
U.E.	UTILITY EASEMENT
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS

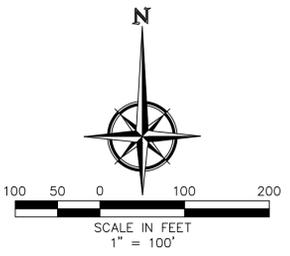
- Notes:
- Bearings and Grid Coordinates shown hereon are per NAD 83 based on City of Rockwall Monument No.
  - A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
  - By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 4839700030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
  - All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
  - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
  - The Open Space Lots to be maintained by the Homeowners Association (HOA).
  - Drainage and Detention on site to be maintained by the HOA.

**LINE TABLE**

NO.	DIRECTION	DISTANCE
L1	N 00°30'07" W	16.44'
L2	S 42°42'28" W	81.46'

**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	90°40'08"	400.00'	404.70'	632.99'	N 45°01'11" W	568.98'
C2	46°43'58"	250.00'	108.01'	203.91'	S 66°04'27" W	198.30'



ZONING DISTRICT: PD-79  
 OPEN SPACE = 2.853 AC.  
 33 DWELLING UNITS  
 2.20 UNITS PER ACRE

OWNERS  
**CDT ROCKWALL/2017, LLC**  
 6925 FM 2515  
 KAUFMAN, TX 75142

DEVELOPER  
**HINES**  
 2200 ROSS AVE., SUITE 4200W  
 DALLAS, TX 75201  
 (214) 716-2900

LAND SURVEYOR  
**R.C. MYERS SURVEYING, LLC**  
 488 ARROYO COURT  
 SUNNYVALE, TX 75182  
 (214) 532-0636  
 FAX (972) 412-4875  
 EMAIL: rcmsurveying@gmail.com  
 FIRM NO. 10192300 JOB NO. 355

PRELIMINARY PLAT  
**SADDLE STAR**  
**ESTATES SOUTH**  
**PHASE THREE**  
 33 SINGLE FAMILY LOTS  
 3 COMMON AREA TRACT  
 14.995 ACRES  
 SITUATED IN THE  
**P.B. HARRISON SURVEY, A-97**  
**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**  
**ENGINEERING CONCEPTS & DESIGN, L.P.**  
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES  
 TEXAS FIRM REG. NO. 001145  
 201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098  
 (972) 941-8400 FAX (972) 941-8401





## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-041; SUBSECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC)

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### Attachments

Case Memo  
Proposed Text Amendment  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider approval of an ordinance for a *Text Amendment* to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the text amendment.



**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Mayor and City Council  
**CC:** Rick Crowley, *City Manager*  
 Mary Smith, *Assistant City Manager*  
 Joey Boyd, *Assistant City Manager*  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** December 21, 2020  
**SUBJECT:** Z2020-041; *Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*

On November 2, 2020, staff held a work session with the City Council to discuss proposed changes to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)* [i.e. *the takeline ordinance*] and the City's *Raw Water Policy*. These changes were prepared at the request of Mayor Pruitt, who asked staff to review the ordinance and bring changes that would: [7] provide clearer requirements with regard to the land uses, building materials, and construction standards permitted within the *takeline*, and [2] provide incentive for more property owners to pursue *takeline* leases. Based on the changes proposed at the work session, the City Council directed staff to proceed with adopting the amendment into the Unified Development Code (UDC).

A summary of the proposed changes to *the takeline ordinance* is provided on the front of the proposed amendment under the *Change Log* heading and which is included in the attached packet; however, this amendment is basically a complete overhaul of the language currently contained in this section of the Unified Development Code (UDC). Some of the major changes are summarized as follows:

- (1) The way in which the visual measurement for view corridors is currently being calculated was changed to allow a larger buildable area for lots with longer linear frontages of shoreline. Currently, the view corridor is calculated from a projection that starts at a central point in the adjacent property owner's rear yard, and projects outward into the takeline at a 36-degree angle. The proposed amendment changes this calculation to a defined point in the center of the takeline -- *at the quarter point* --, and projects this point back to the corners of the subject property. The advantages of this projection system are that it is easier for property owners and staff to calculate quickly, and it yields similar results as the previous projection calculation. For lots with over 100-feet of takeline frontage, this point starts 30-feet from the side yard of the takeline area and then projects back to the corner of the subject property. By doing this, the buildable area on these larger lots is increased in the *435.5-Elevation Zone*, and this allows the property owners leasing these areas the ability to construct certain structures in the center of the takeline area closer to the water's edge.
- (2) New language addressing *Residential Sublease Agreements* and the costs of these agreements were added. Staff should also point out that the fees for these agreements were reduced as follows:

Lease	Current Fees	Proposed Fees
New Lease (i.e. Never Leased by Current Owner)	\$600.00	\$200.00
Annual Renewal of a Lease	\$350.00	\$100.00
Change of Ownership of a Valid Lease	\$350.00	\$50.00
Reinstatement of an Expired Lease (i.e. Same Property Owner)	\$600.00	\$500.00

The purpose of this reduction is to incentivize more property owners to pursue *Residential Sublease Agreements*. In addition, all of the permitted land uses (*with the exception of municipal utilities*) now require the property owner to have a valid *Residential Sublease Agreement*.

- (3) Sea walls were added to the permitted land uses section of the ordinance. In addition, certain land uses now would require the construction of a sea wall prior to their establishment.

Attached to the memorandum is a copy of the proposed changes to the *takeline ordinance* and a draft ordinance. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff brought the request forward to the Planning and Zoning Commission for a recommendation to the City Council, and at the December 7, 2020 City Council meeting the Planning and Zoning Commission approved a motion to recommend approval of the text amendment by a vote of 7-0. In accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff sent out a 15-day notice to the Rockwall Herald Banner. Should the City Council have any questions, staff will be available at the meeting on December 21, 2020.

## STRUCTURE OF ORDINANCE CHANGE

### (1) SUBSECTION 06.15: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) PURPOSE
- (B) BOUNDARIES
- (C) APPLICABILITY
- (D) DEFINITIONS
- (E) VISUAL MEASUREMENTS FOR VIEW CORRIDORS
- (F) GENERAL REQUIREMENTS
- (G) RESIDENTIAL SUBLEASE
- (H) PERMITTED USES
- (I) SPECIFIC USE PERMITS (SUPS)
- (J) SPECIFICATIONS FOR PERMITTED LAND USES
  - (1) BARBECUE PIT
  - (2) BOATHOUSE
  - (3) COVERED PATIO
  - (4) DECK
  - (5) DOCK DECK
  - (6) FENCE
  - (7) FLAGPOLE
  - (8) FIXED PIER
  - (9) FIRE PIT
  - (10) GAZEBO
  - (11) LANDING AND STAIRS
  - (12) LANDSCAPING AND RETAINING WALLS
  - (13) MUNICIPAL UTILITIES
  - (14) OUTDOOR LIGHTING
  - (15) PATIO
  - (16) PERGOLA
  - (17) PICNIC TABLE
  - (18) PRIVATE PLAY STRUCTURE
  - (19) PRIVATE UTILITIES
  - (20) PRIVATE WALKWAYS
  - (21) SEAWALL
  - (22) SPRINKLER/IRRIGATION SYSTEM

### (2) SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

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#### CHANGE LOG

- (1) BROKE OUT EACH LAND USE AND STANDARDIZED THE SECTIONS.
- (2) ADDED FIRE PIT AND PICNIC TABLE AND BROKE OUT COVERED PATIO, DECK, PERGOLA, PATIO AND GAZEBO OUT INTO THEIR OWN SECTIONS.
- (3) CHANGED THE MATERIAL REQUIREMENTS FOR ALL STRUCTURES LOCATED IN THE 435.5 & 425.5 ELEVATION ZONES TO ALLOWING ONLY COMPOSITE MATERIALS OR METAL.
- (4) CHANGED THE WAY THE VIEW CORRIDORS WERE CALCULATED AND GAVE A GREATER ALLOWANCE TO PROPERTIES THAT HAVE A MINIMUM OF 100-FEET OF SHORELINE FRONTAGE.
- (5) REQUIRED COVERED PATIOS TO HAVE A CLERESTORY OR CUPOLA.
- (6) LIMITED MATERIALS SO THAT CLOTH, CANVAS, OR LIKE MATERIALS WERE NOT PERMITTED.
- (7) CHANGED THE SUP REQUIREMENT TO GIVE THE CITY COUNCIL GREATER AUTHORITY IN ALLOWING LAND USES AND STRUCTURES IN THE TAKELINE AREA.
- (8) DEFINED WHERE AND WHEN TREES CAN BE PLANTED OR REMOVED.
- (9) LIMITED THE NUMBER OF STRUCTURES PERMITTED IN EACH ZONE.
- (10) ADDED EXAMPLE IMAGES OF ALL PERMITTED LAND USES.
- (11) CHANGED LOCATIONAL REQUIREMENTS FOR STRUCTURES IN THE 435.5 ELEVATION ZONE AND BOAT RELATED STRUCTURES.
- (12) CREATED AN ADMINISTRATIVE EXCEPTION FOR PLACEMENT OF STRUCTURES
- (13) INSERTED A TAKELINE LEASE SECTION THAT OUTLINES THE TAKELINE LEASE FEES.
- (14) REDUCED THE TAKELINE LEASE FEES TO MORE REASONABLE COSTS.
- (15) REQUIRED A SEAWALL FOR CERTAIN STRUCTURES IN CERTAIN ELEVATION ZONES.
- (16) CREATED A SUMMARY CHART FOR PERMITTED LAND USES.
- (17) ADDED AN IMAGE OF AND USE FOR A SEA WALL.

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#### NOTES

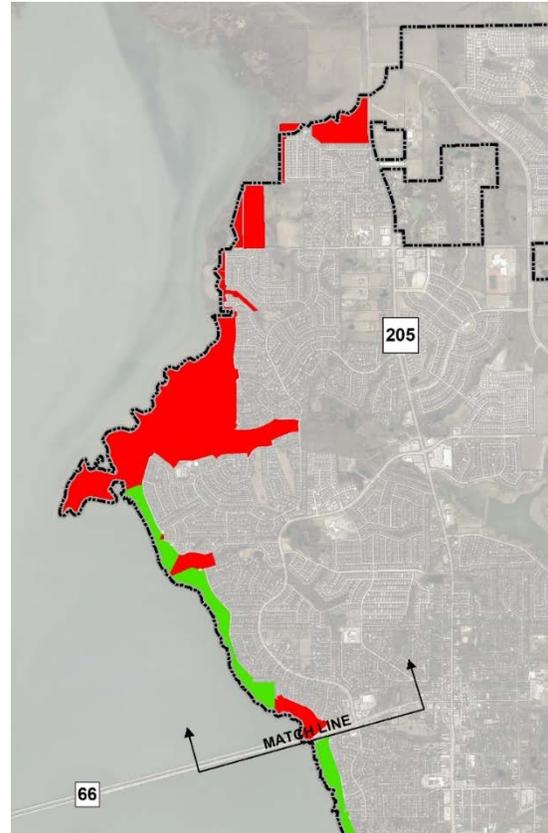
- (1) I SPOKE WITH THE CITY ATTORNEY ABOUT THE CURRENT ORDINANCE'S LIMITATION ON ONLY ALLOWING THE UNITED STATES FLAG AND THE TEXAS FLAG TO BE FLOWN IN THE TAKELINE AREA. THIS REQUIREMENT IS APPARENTLY NOT ENFORCEABLE; HOWEVER, I LEFT IT IN THE ORDINANCE CHANGE AND AS LONG AS WE DON'T TRY TO ENFORCE IT WE SHOULD BE OK. I SHOULD ALSO NOTE THAT THE CITY OF HEATH ALSO HAS THIS REQUIREMENT IN THEIR TAKELINE ORDINANCE.
- (2) AFTER REVIEW OF THE CURRENT INTERLOCAL AGREEMENT WITH THE CITY OF DALLAS, NOTHING CONTAINED IN THIS ORDINANCE CHANGE WOULD VIOLATE THAT AGREEMENT OR IS EXPRESSLY PROHIBITED IN THAT AGREEMENT. THE CITY COUNCIL SHOULD BE ABLE TO ADOPT THIS ORDINANCE CHANGE WITHOUT THEIR REVIEW; HOWEVER, AFTER ADOPTION IT MAY BE PRUDENT TO ALLOW THEM TO REVIEW THE CHANGES.

- (A) Purpose. The intent of the SH-276 Overlay (SH-276 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.
- (B) Application and Boundaries. The SH-276 Overlay (SH-276 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the current or future right-of-way of SH-276. The SH-276 Overlay (SH-276 OV) District extends from SH-205 east to the eastern city limits, as may be extended with future annexation(s). The standards and regulations set forth in the SH-276 Overlay (SH-276 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.
- (C) Overlay District Standards. If any portion of a property is situated within the boundaries of the SH-276 Overlay (SH-276 OV) District, the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

**SUBSECTION 06.15: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT**

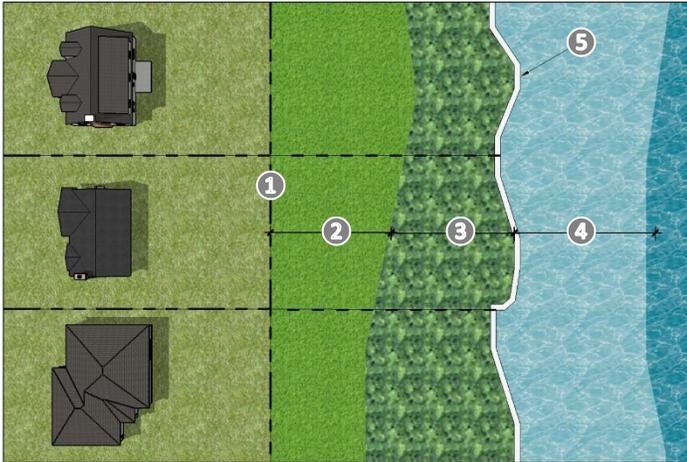
- (A) Purpose. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the Lake Cities Coalition (i.e. Garland, Rockwall, and Rowlett) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) Boundaries. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map) and the meandering of the contour line 435.5-foot sea level elevation. In addition, [Figure 27: Elevation Contours](#), shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY  
 GREEN: LEASABLE PROPERTY

FIGURE 27: ELEVATION CONTOUR ZONES



①: REAR PROPERTY LINE/TAKE LINE; ②: 438.0 ELEVATION ZONE; ③: 435.5 ELEVATION ZONE; ④: 425.5 ELEVATION ZONE; ⑤: SEAWALL;

(C) Applicability.

- (1) Applicable Lots. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.
- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(B)(1) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (J), Specifications for Permitted Land Uses. In addition, the following terms shall be defined as follows:

- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.

- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
- (6) Lake. Refers to Lake Ray Hubbard.
- (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. *property at or below an elevation of 435.5-foot mean sea level*).
- (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
- (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
- (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
- (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
- (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. *a slip*) for not more than 156-consecutive hours.
- (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
- (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. *435.5-foot mean sea level*).
- (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
- (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. *435.5-foot mean sea level*).
- (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
- (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
- (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see *Figure Subsection (E): Visual Measurements for View Corridors*).
- (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline

area crosses the lease area's side yard (see Figure 28: Visual Measurements for View Corridors).

- (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
- (a) Motorized Boat. A boat propelled by an internal combustion engine.
  - (b) Sail Boat. A boat with a mast and sail propelled by the wind.

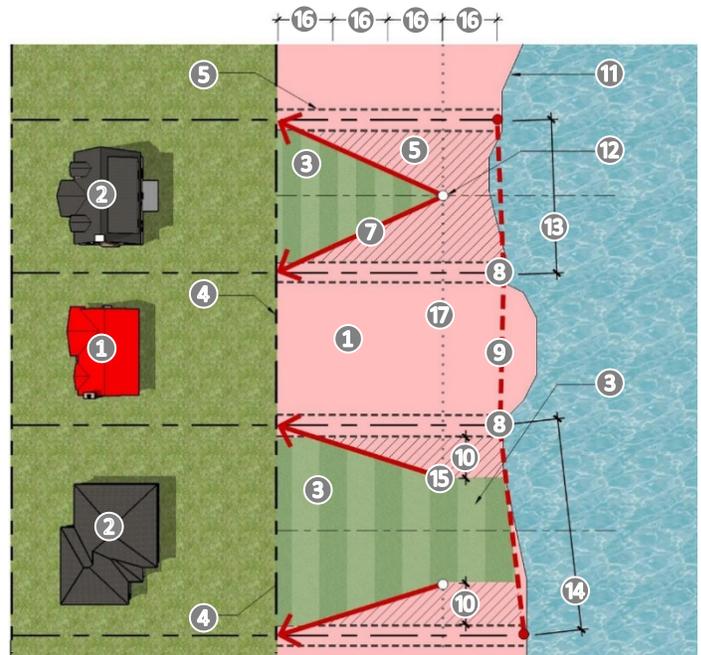
(E) Visual Measurements for View Corridors.

- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (i.e. 435.5-foot mean sea level), and connecting these two (2) points in a straight line (see Figure 28: Visual Measurements for View Corridors). Based on this linear measurement, the view clear zones are determined by the following:

- (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (i.e. 25%) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

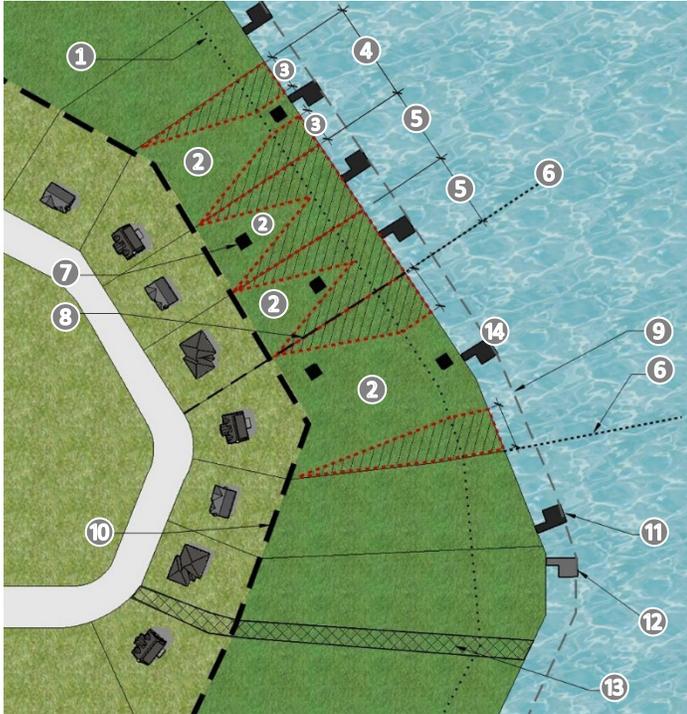
- (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (i.e. 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



- ①: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); ②: NEIGHBORING PROPERTY; ③: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); ④: REAR PROPERTY LINE/TAKELINE; ⑤: VIEW CLEAR ZONE (LINED AREA); ⑥: LEASE AREA SIDE YARD SETBACK; ⑦: VIEW PRESERVATION ANGLE; ⑧: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; ⑨: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] ⑧ POINTS IN A STRAIGHT LINE); ⑩: 30-FOOT; ⑪: SHORELINE; ⑫: CENTER POINT AT THE QUARTER DISTANCE LINE; ⑬: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⑭: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; ⑮: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⑯: 25% OF THE TAKELINE AREA; ⑰: QUARTER DISTANCE LINE.

FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



1: QUARTER DISTANCE LINE; 2: BUILDABLE AREA; 3: 30-FOOT; 4: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOOT OR MORE; 5: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOOT; 6: LEASE AREA'S PROJECTED SIDE YARD; 7: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8: LEASE AREA'S SIDE YARD; 9: 40-FOOT BUILDING LINE; 10: REAR PROPERTY LINE/TAKELINE; 11: EXISTING BOATHOUSE; 12: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; 13: DRAINAGE EASEMENT; 14: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

(1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

- (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
- (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.

(2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

- (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.

(b) 435.5 Elevation Zone: Structures in the 435.5 Elevation Zone should be generally centered in the lease area -- equal distance from both leased side yard boundary lines -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.

(c) 425.5 Elevation Zone: Structures located in the 425.5 Elevation Zone should be generally centered along the shoreline -- equal distance from both the leased side yard boundary lines -- behind the primary structure of the leasing property.

(d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [7] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.

(3) Building Materials. The permitted building materials shall be as stipulated in Subsection (J), Specifications for Permitted Land Uses, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (*e.g. sand, fill, pea gravel*) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.

(4) Trees. In order to plant or remove a tree in the takeline area, a Treescape Plan showing the exact location, size (*i.e. trunk diameter and height*), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:

- (a) Planting Trees. Trees are permitted to be planted within the 438.0 Elevation Zone pending they are [1] not a variety specifically listed in the prohibited tree list contained in Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements, and [2] they are not located within the view clear zone outlined Subsection (E), Visual Measurements. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to

be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.

(b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.

(5) Temporary Structures in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with [Subsection 06.15\(J\)\(6\)](#).

(G) Residential Sublease Agreement. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of [Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code \(UDC\)](#). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease (i.e. New Never Leased by Current Owner) <sup>2</sup>	\$200.00
Annual Renewal of a Lease	\$100.00
Change of Ownership of a Valid Lease	\$50.00
Reinstatement of an Expired Lease (i.e. Same Property Owner) <sup>3</sup>	\$500.00

NOTES:

<sup>1</sup>: To be subject to these new fees, a lease entered into after January 1, 2021 will be required (i.e. the effective date of the amendment adopting these fees).

<sup>2</sup>: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.

<sup>3</sup>: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

(H) Permitted Uses. All of the uses permitted within the *Lake Ray Hubbard Takeline Overlay (TL OV) District* shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see [Subsection \(J\), Specifications for Permitted Land Uses](#), or [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#).

(I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in [Subsection \(J\), Specifications for Permitted Land Uses](#) or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by [Subsection \(J\), Specifications for Permitted Land Uses](#); however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in [Subsection \(J\), Specifications for Permitted Land Uses](#), or [Subsection \(F\), General Requirements](#), is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in [Subsection \(E\), Visual Measurements](#). A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in [Subsection \(J\), Specifications for Permitted Land Uses](#), (e.g. jet ski lift) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

(J) Specifications for Permitted Land Uses. See [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#), for a summary of the development standards for each of the following conditional uses.

(1) Barbecue Pit.

(a) Definition. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (for *Fire Pit* see [Subsection 06.15\(J\)\(9\)](#)).

(b) Prerequisites. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *barbecue pit* shall be allowed in the following zones:

- (1) [438.0](#): Permitted.
- (2) [435.5](#): Not Permitted.
- (3) [425.5](#): Not Permitted.

(d) Conditional Use Standards. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).

(e) Construction Standards.

(1) Building Materials. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.

(2) Height. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

(3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

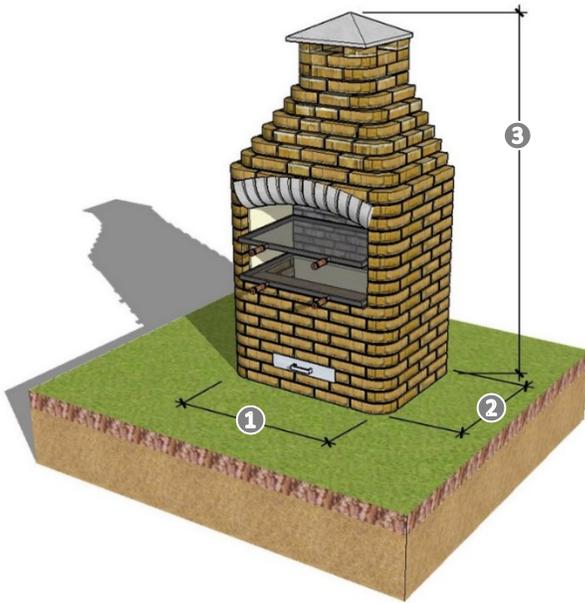
(f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



❶ : A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH; ❷ : A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH; ❸ : A MAXIMUM OF SIX (6) FEET;

(2) Boathouse.

- (a) Definition. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
- (c) Conditional Use Standards. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base

foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials*) -- products equivalent to *Trex brand* are preferred -- for decking, galvanized metal/iron/steel or aluminum (with a minimum color rating of AAMA 2604) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.
- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure

and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.

(6) Additional Construction Standards.

- (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
- (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
- (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
- (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a *boathouse* should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be

designed to prevent or restrict public access to any portion of water within the *Lake*.

(f) Setback Requirements. A *boathouse* must adhere to the following setbacks:

- (1) Takeline Setback: 0-feet
- (2) Leased Side Yard Setback: 10-feet
- (3) Maximum Distance from Seawall: 40-feet

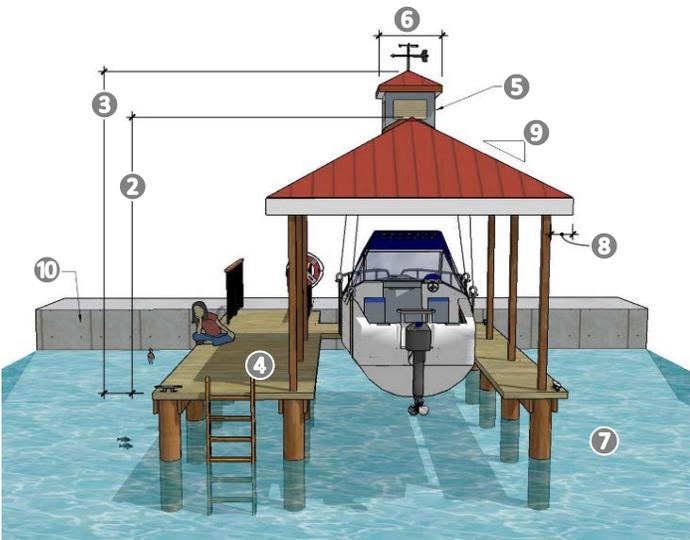
(g) Additional Requirements.

- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
- (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
- (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



1: 40-FOOT MAXIMUM



1: 40-FOOT MAXIMUM; 2: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; 3: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; 4: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); 5: CUPOLA; 6: THREE (3) FEET BY FOUR (4) FEET; 7: 435.5-FOOT NORMAL POOL ELEVATION; 8: 1.5-FOOT MAXIMUM OVERHANG; 9: 2:1 ROOF PITCH (HIP ROOF ONLY); 10: SEAWALL

(3) Covered Patio.

- (a) Definition. A *covered patio* is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A *covered patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *covered patio* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted (if a Seawall has been constructed).
  - (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A *covered patio* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) Construction Standards.

- (1) Building Materials. A *covered patio* must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
- (2) Height. A *covered patio* shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
- (3) Size. A *covered patio* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
- (4) Roof. A *covered patio* will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All *covered patios* should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
- (5) Location. A *covered patio* located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. *Covered patios* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A *covered patio* must adhere to the following setbacks:

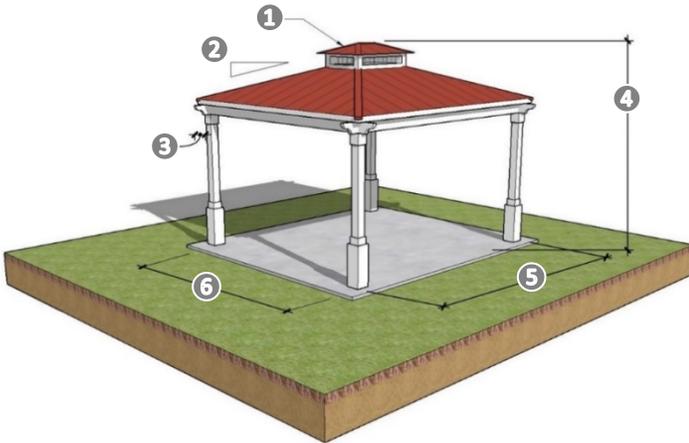
- (1) Takeline Setback: 6-Foot (from the Concrete Cap of the Seawall)
- (2) Leased Side Yard Setback: 20-Foot

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *covered patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *covered patio* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *covered patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing

or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 4:1 MINIMUM ROOF PITCH; 3: 18-INCHES MAXIMUM OVERHANG; 4: 15-FEET MAXIMUM HEIGHT; 5: 20-FEET MAXIMUM; 6: 12-FEET MAXIMUM;

(4) Deck.

(a) Definition. A deck is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.

(b) Prerequisites. A deck may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A deck shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted (see Dock Deck in Subsection 06.15(J)(5)).

(d) Conditional Use Standards. A deck shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

- (1) Building Materials. A deck must be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Handrails incorporated into a deck in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
- (2) Height. A deck shall not exceed a maximum height of 24-inches above grade.
- (3) Size. A deck shall not exceed a maximum area of 1,000 SF.

(4) Location. A deck located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Decks shall not be placed in the view clear zone of a neighbor's view corridor.

(5) Foundation. A deck shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed deck.

(f) Setback Requirements. A deck must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of a deck must comply with the erosion control standards set forth in the Interlocal Lease Agreement.

(2) Compliance with Applicable Codes. A deck must comply with all other applicable City of Rockwall codes.

(3) Emergency Response. The deck shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: WROUGHT IRON OR DECORATIVE METAL; 2: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; 3: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; 4: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; 5: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

(a) Definition. A dock deck is a flat floor surface area built over the water adjoining the end of a fixed pier.

(b) Prerequisites. A dock deck may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall, has constructed a seawall along the entire length of the shoreline within the leased area, and has constructed fixed pier.

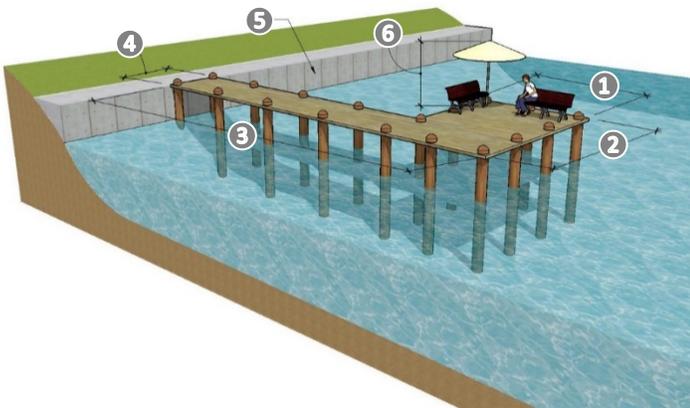
(c) Elevation Zone. A dock deck shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more than 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
- (1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
  - (2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.
  - (3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). *Dock decks* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.
- (5) Additional Construction Standards.
- (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
  - (b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
  - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
  - (6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.
- (f) Setback Requirements. A *dock deck* must adhere to the following setbacks:
- (1) Takeline Setback: 0-feet
  - (2) Leased Side Yard Setback: 10-feet
  - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property

authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.

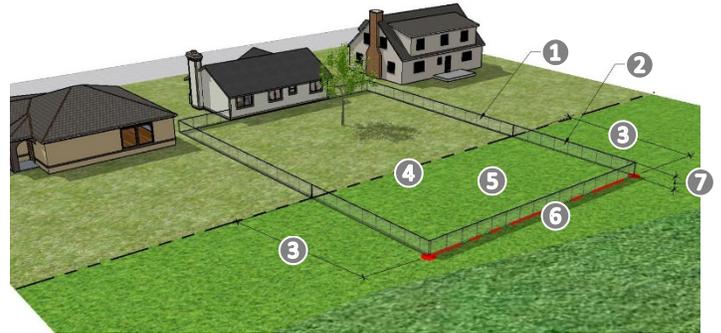


1: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; 2: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; 3: 40-FOOT MAXIMUM; 4: SIX (6) FOOT MAXIMUM; 5: SEAWALL; 6: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the Takeline corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and

connecting the two (2) points in a straight line (see example below).



1: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; 2: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; 3: MAXIMUM OF 45-FOET ALONG THE LEASE LINE OF THE TAKELINE; 4: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; 5: 438.0 ELEVATION ZONE; 6: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; 7: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

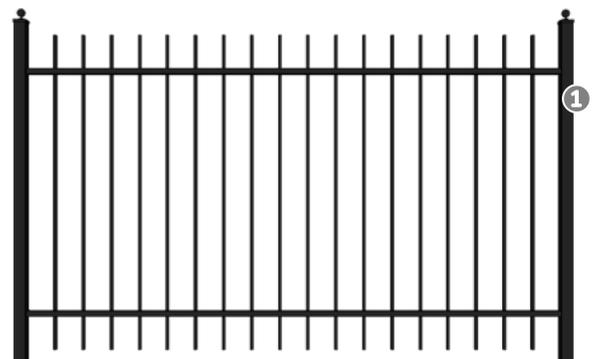
- (1) Building Materials. A fence shall only be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A fence must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.

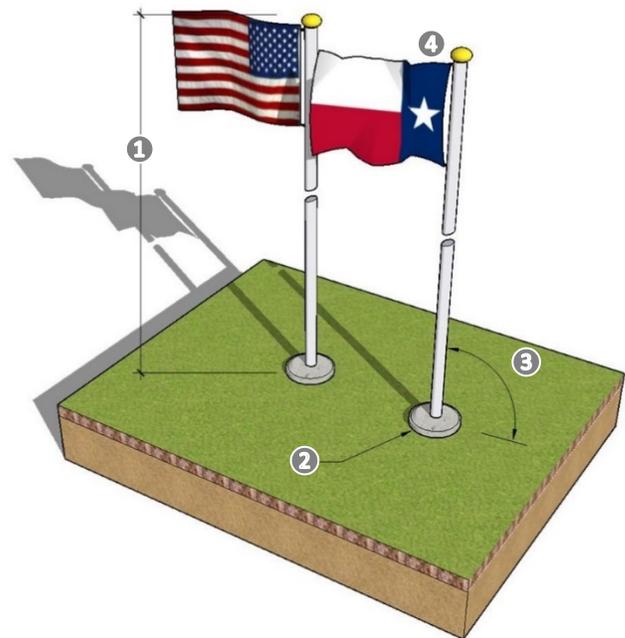


1: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

- (a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
- (b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *flagpole* shall be allowed in the following zones:
- (1) 438.0: Permitted.
  - (2) 435.5: Permitted (if a *Seawall* has been constructed).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a *flagpole* shall be prohibited.
- (e) Construction Standards.
- (1) Building Materials. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.
  - (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
  - (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
  - (4) Location. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *flagpole* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.
  - (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



① : MAXIMUM OF 20-FEET FROM GRADE; ② : AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③ : MAINTAINED TO BE 90-DEGREES FROM GRADE; ④ : FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
- (1) 438.0: Not Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) *fixed pier* with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see [Subsection 06.15\(J\)\(8\)\(h\)](#)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent

public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.

(e) Construction Standards.

- (1) Building Materials. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) Height. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) Size. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) Additional Construction Standards.

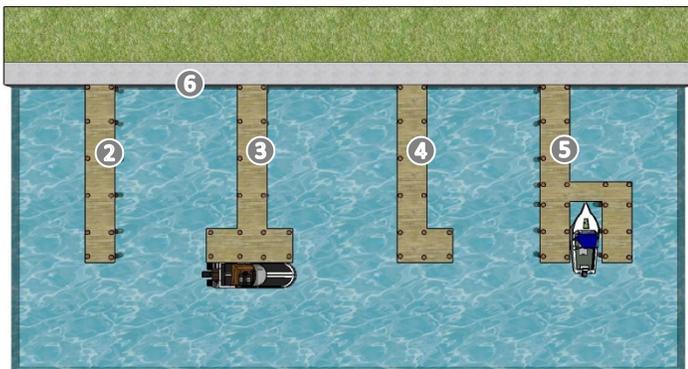
- (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (b) Catwalks. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *fixed piers*.
- (f) Setback Requirements. A *fixed pier* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-feet
  - (2) Leased Side Yard Setback: 10-feet
  - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
  - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
  - (2) Compliance with Applicable Codes. A *fixed pier* must comply with all other applicable City of Rockwall codes.

- (3) Address. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



1 : 40-FOOT MAXIMUM; 2 : PIER IN AN 'I' SHAPE; 3 : PIER IN 'T' SHAPE; 4 : PIER IN AN 'L' SHAPE; 5 : PIER IN A 'U' SHAPE; 6 : SEAWALL; 7 : SIX (6) FOOT MAXIMUM



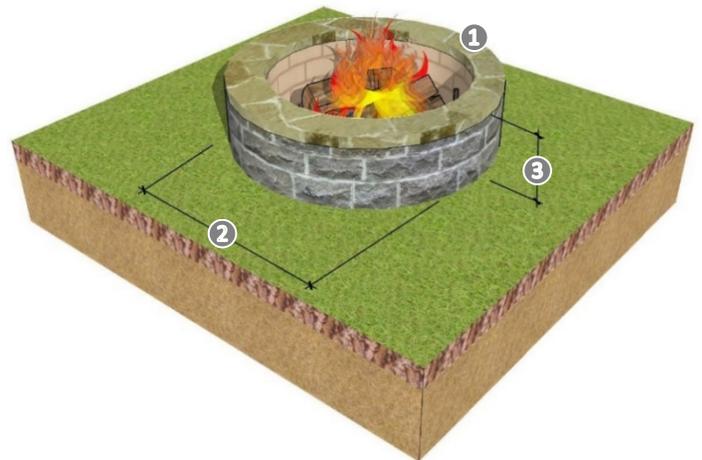
(9) Fire Pit.

- (a) Definition. A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) Prerequisites. A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *fire pit* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted (if a Seawall has been constructed).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *fire pit* can only be fueled by charcoal and wood products, and shall not be fueled

by any permanently buried gas products (i.e. natural gas or propane).

(e) Construction Standards.

- (1) Building Materials. The surround (i.e. the area used to contain the fire) for a *fire pit* must be constructed utilizing a combination of natural stone, brick, and/or concrete.
- (2) Height. A *fire pit* shall not exceed a maximum of 36-inches in height.
- (3) Size. A *fire pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *fire pit* should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A *fire pit* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
  - (1) Earth Work. Earth work required for the construction of a *fire pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *fire pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



1 : NATURAL STONE, BRICK, AND/OR CONCRETE; 2 : MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; 3 : MAXIMUM HIEGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

- (a) Definition. A *gazebo* is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.
- (b) Prerequisites. A *gazebo* may only be constructed on a property that has a valid *Residential Sublease Agreement*

from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A gazebo shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A gazebo shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.

(e) Construction Standards.

(1) Building Materials. A gazebo built in the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The side trellis of the gazebo may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A gazebo built in the 435.5 Elevation Zone shall only be built out of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A gazebo will be constructed using steel reinforced concrete piers.

(2) Height. A gazebo shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the gazebo shall be measured from grade to the vertex of the gazebo's main roof or clerestory/cupola roof. In either case a gazebo shall not be larger than one (1) story or incorporate a balcony.

(3) Size. A gazebo shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.

(4) Roof. The roof of the gazebo shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the gazebo can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.

(5) Location. A gazebo located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Gazebos shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A gazebo must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of a gazebo must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A gazebo must comply with all other applicable City of Rockwall codes.

(3) Emergency Response. The gazebo shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: CUPOLA OR CLERESTORY; ②: 2:1 MINIMUM ROOF PITCH; ③: 1.5-FOOT MAXIMUM OVERHANG; ④: 18-FOOT MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FOOT WITHOUT A CUPOLA OR CLERESTORY; ⑤: 12-FOOT MAXIMUM; ⑥: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

(a) Definition. A landing is the area of a floor near the top or bottom step of a stair. A stair is a set of steps leading from one floor of an area to another.

(b) Prerequisites. A landing and stairs may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 or 425.5 Elevation Zones -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A landing and stairs shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Permitted (if a Seawall has been constructed).

*NOTE:* A landing and stairs located in the 425.5 Elevation Zone is permitted beside the lake but not upon or over the lake.

- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
  - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
  - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
  - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
  - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:
  - (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 5-Feet
- (g) Additional Requirements.
  - (1) Earth Work. Earth work required for the construction of a landing and stairs must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A landing and stairs must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.

TOP VIEW.



1: MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; 2: VARIABLE LENGTH STAIRCASE; 3: WROUGHT IRON OR BLACK TUBULAR STEEL; 4: NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; 5: VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; 6: MAXIMUM OF SIX (6) FEET.

(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.

*NOTE:* Remedial landscaping in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of [Article 08, Landscaping and Fence Standards, of the Unified Development Code \(UDC\)](#). For information regarding planting or removing trees see [Subsection \(F\)\(4\)](#) above.

(e) Construction Standards.

- (1) Building Materials. *Retaining walls* shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception of the 438.0 Elevation Zone. The use of

PERSPECTIVE VIEW.



railroad ties, treated wood, pea gravel -- with the exception of using it as a base --, and brick shall be prohibited.

- (2) Height. Retaining walls as part of landscaping will be limited to less than three (3) feet.
- (3) Location. Landscaping and retaining walls shall not hinder the view clear zone of an adjacent neighbor's view corridor. Landscaping shall not exceed six (6) feet in height in the view clear zone.

(f) Setback Requirements. Retaining walls must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of landscaping and retaining walls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. Landscaping and retaining walls must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. Landscaping and retaining walls shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

(a) Definition. Municipal utilities represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) Elevation Zone. Municipal utilities shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Permitted.

(c) Conditional Use Standards. All municipal utilities' infrastructure is permitted within the take area. Municipal utilities shall be placed underground.

(d) Setback Requirements. Municipal utilities must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(e) Additional Requirements.

- (1) Compliance with Applicable Codes. Municipal utilities must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

(a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted outdoor lighting allowed below the 438.0 Elevation Zone.

(d) Conditional Use Standards. Systems and structures associated with outdoor lighting include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are not allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.

(e) Photometric Plan. A photometric plan describing compliance with the provisions of [Article 07, Performance Standards, of the Unified Development Code \(UDC\)](#) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for outdoor lighting. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in [Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code \(UDC\)](#).

(f) Construction Standards.

- (1) Building Materials. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
  - (2) Height. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the *438.0 Elevation Zone* should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
  - (3) Location. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
- (g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 20-Feet
- (h) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
  - (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) Patio.

- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *patio* shall be allowed in the following zones:
  - (1) *438.0*: Permitted.
  - (2) *435.5*: Permitted.
  - (3) *425.5*: Not Permitted.
- (d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are not permitted in the *435.5 Elevation Zone*.
  - (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
  - (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
  - (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *patio* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
  - (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: NATURAL STONE; 2: WROUGHT IRON OR BLACK TUBLAR STEEL; 3: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; 4: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.
- (b) Prerequisites. A *pergola* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall*

along the entire length of the shoreline within the leased area.

- (c) Elevation Zone. A pergola shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Not Permitted.

- (d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

- (e) Construction Standards.

- (1) Building Materials. A pergola constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A pergola constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

- (2) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.

- (3) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

- (4) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.

- (5) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.

- (f) Setback Requirements. A pergola must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

- (g) Additional Requirements.

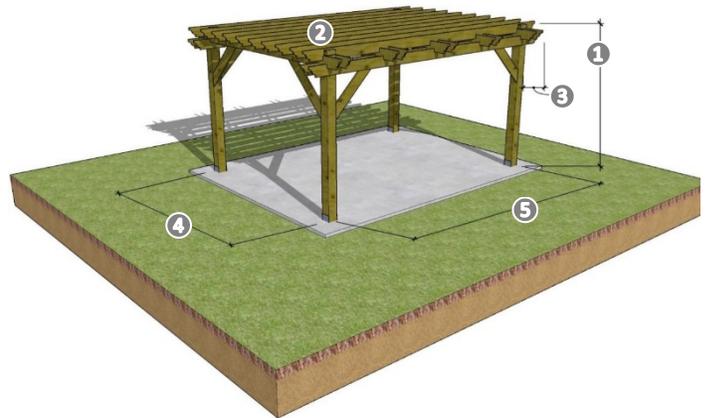
- (1) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

- (2) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.

- (3) Emergency Response. The pergola shall not be located in an area where it would block public safety

personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

- (h) Visual Representation.



1: 12-FOOT MAXIMUM HEIGHT; 2: OPEN ROOF OF GIRDELS OR RAFTERS; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 12-FOOT MAXIMUM; 5: 20-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

- (17) Picnic Table.

- (a) Definition. A picnic table is a permanent outdoor structure used for outdoor dining.

- (b) Prerequisites. A picnic table may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

- (c) Elevation Zone. A picnic table shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

- (d) Conditional Use Standards. A picnic table must be a minimum of 12-feet from a barbecue pit or fire pit, and shall be open to the air (i.e. no roof covering) unless combined with a covered patio or pergola. A picnic table shall be built on level terrain.

- (e) Construction Standards.

- (1) Building Materials. The surface area of the picnic table shall be constructed out of concrete, brick, or native stone. Picnic tables constructed with wood shall be prohibited.

- (2) Height. A picnic table shall not exceed a maximum of 36-inches in height.

- (3) Size. A picnic table shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.

- (4) Location. A picnic table located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Picnic tables shall not be placed in the view clear zone of a neighbor's view corridor.

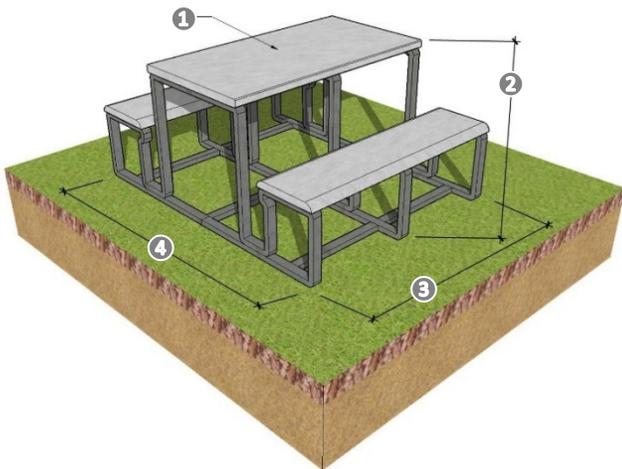
(f) Setback Requirements. A picnic table must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a picnic table must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A picnic table must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The picnic table shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ②: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ③: EIGHT (8) FOOT MAXIMUM; ④: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A private play structure is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A private play structure may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A private play structure shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A private play structure can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play

poles, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.

(e) Construction Standards.

- (1) Building Materials. A private play structure shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a private play structure should blend and incorporate the same hues and tones of the surrounding landscaping.
- (2) Height. A private play structure shall not exceed a maximum of eight (8) feet in height.
- (3) Size. All private play structures will be situated in a collected area that is a maximum of 1,000 SF in area.
- (4) Location. Private play structures shall not be placed in the view clear zone of a neighbor's view corridor.

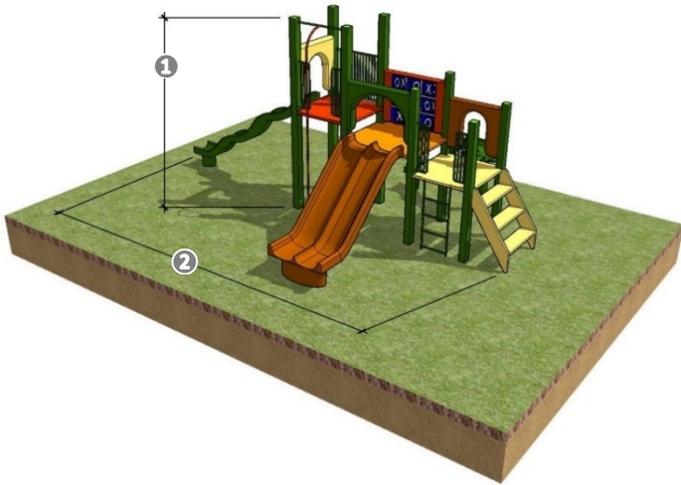
(f) Setback Requirements. A private play structures must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a private play structures must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A private play structure must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The private play structure shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ②: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ③: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. *Private utilities* are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. *Private utilities* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Private utilities* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
  - (1) Building Materials. *Private utilities* shall only be constructed out of materials permitted by the City's Engineering Department.
  - (2) Location. *Private utilities* within 20-feet of the normal pool elevation shoreline (*i.e.* 435.5) shall be built to handle load factors associated with emergency and service vehicles. *Private utilities* containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.

(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

- (a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.
- (b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. *Private walkways* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted (*if a Seawall has been constructed*).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private walkways* with steps are permitted (*see Landing and Stairs in Subsection 06.15(J)(11)*).
- (e) Construction Standards.
  - (1) Building Materials. *Private walkways* shall be constructed using native stone, brick and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, asphalt, or concrete.
  - (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
  - (3) Size. *Private walkways* shall be no greater than 48-inches in width.
  - (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is

responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. Private walkways must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of private walkways must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A private walkway must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any private walkway by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A seawall is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A seawall may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A seawall shall be allowed in the following zones:
  - (1) 438.0: Not Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

(d) Construction Standards.

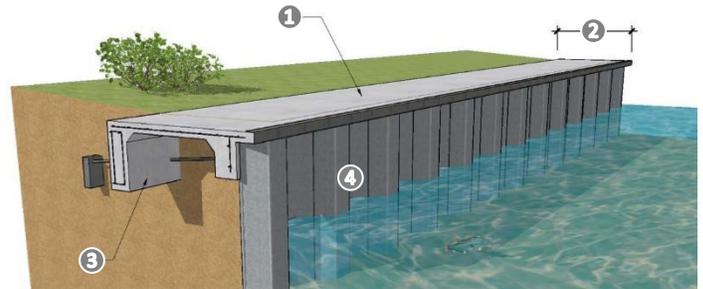
- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a seawalls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

- (2) Compliance with Applicable Codes. A seawall must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.



1: CONCRETE WALKWAY; 2: SIX (6) FOOT MINIMUM; 3: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; 4: RETAINING WALL.

(22) Sprinkler/Irrigation System.

- (a) Definition. A sprinkler/irrigation system is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (b) Prerequisites. A sprinkler/irrigation system may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A sprinkler/irrigation system shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (d) Conditional Use Standards. A sprinkler/irrigation system must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.

(e) Construction Standards.

- (1) Building Materials. A sprinkler/irrigation system shall only be constructed utilizing *Schedule 40 PVC* pipe.
- (2) Height. The heads of a sprinkler/irrigation system used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
- (3) Location. A sprinkler/irrigation system shall be allowed up to one (1) foot of the normal pool elevation shoreline (*i.e.* 435.5) provided no part of the system could potentially result in lake siltation erosion.

(f) Setback Requirements. A *sprinkler/irrigation system* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

#### SUBSECTION 06.16: VARIANCES TO THE GENERAL OVERLAY DISTRICT STANDARDS

See [Subsection 09.02, Variances to the General Overlay Districts Standards, of Article 11, Development Applications and Review Procedures.](#)

#### SECTION 07 | DISTRICT DEVELOPMENT STANDARDS

See next page.

SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

LAND USE <sup>1</sup>	CONDITIONAL USE REFERENCE SEE <a href="#">SUBSECTION 06.15(J)</a>	PRE-REQUISITES L: SUBLEASE, S: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS					
			438.0	435.5	425.5											
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR					
BOAT HOUSE <sup>2, 4, 5, &amp; 15</sup>	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS <sup>3</sup> ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF					
COVERED PATIO <sup>5 &amp; 15</sup>	(3)	L & S <sup>16</sup>	P	P	X	0'	12' x 20'	0'	15' <sup>6 &amp; 7</sup>	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF					
DECK <sup>5 &amp; 18</sup>	(4)	L & S <sup>16</sup>	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING					
DOCK DECK <sup>2 &amp; 5</sup>	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' <sup>8</sup>	10'	CM					
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR					
FLAGPOLE <sup>5 &amp; 9</sup>	(7)	L & S <sup>16</sup>	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A					
FIXED PIER <sup>2 &amp; 5</sup>	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' <sup>10</sup>	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS					
FIRE PIT	(9)	L & S <sup>16</sup>	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C					
GAZEBO <sup>5 &amp; 15</sup>	(10)	L & S <sup>16</sup>	P	P	X	0'	12' x 12'	0'	15'/18' <sup>7 &amp; 11</sup>	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE					
LANDING AND STAIRS	(11)	L & S <sup>17</sup>	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE					
PATIO <sup>5 &amp; 18</sup>	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS					
PERGOLA <sup>5</sup>	(16)	L & S <sup>16</sup>	P	P	X	0'	12' x 20'	0'	12' <sup>7</sup>	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE					
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C					
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW					
PRIVATE WALKWAYS	(20)	L & S <sup>16</sup>	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS					
LANDSCAPING AND RETAINING WALLS <sup>12 &amp; 13</sup>	(22)	L	P	P	X	<b>NOTES:</b> <sup>1:</sup> FOR ALL LAND USES CHECK <a href="#">SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT</a> FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS. <sup>2:</sup> BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR. <sup>3:</sup> REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF. <sup>4:</sup> SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL. <sup>5:</sup> THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROEPTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).										
MUNICIPAL UTILITIES	(13)	NONE	P	P	P											
OUTDOOR LIGHTING	(14)	L	P	X	X											
PRIVATE UTILITIES	(19)	L	P	P	X											
SEAWALL	(21)	L	X	X	P											
SPRINKLER/ IRRIGATION SYSTEM <sup>14</sup>	(22)	L	P	P	X											

<sup>6:</sup> REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.  
<sup>7:</sup> SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.  
<sup>8:</sup> EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN FOUR (4) POLE STRUCTURES ALLOWED.  
<sup>9:</sup> A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.  
<sup>10:</sup> EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.  
<sup>11:</sup> REQUIRES A HIP OR GABEL ROOF OR A HIP AND/OR GABEL ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.  
<sup>12:</sup> REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.  
<sup>13:</sup> RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.  
<sup>14:</sup> HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVREAGE BASE OF THE SURROUND TERRIAN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.  
<sup>15:</sup> ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.  
<sup>16:</sup> A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.  
<sup>17:</sup> A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.  
<sup>18:</sup> HANDRAILS ARE PROBITED IN THE 435.5 ELEVATION ZONE.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, AND CREATING SECTION 07.05, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, and create Section 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

**SECTION 2.** That Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, shall be amended to create Section 07.06, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, as described in *Exhibit 'B'* of this ordinance;

**SECTION 3.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 4.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 5.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 4<sup>TH</sup> DAY OF JANUARY, 2021.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

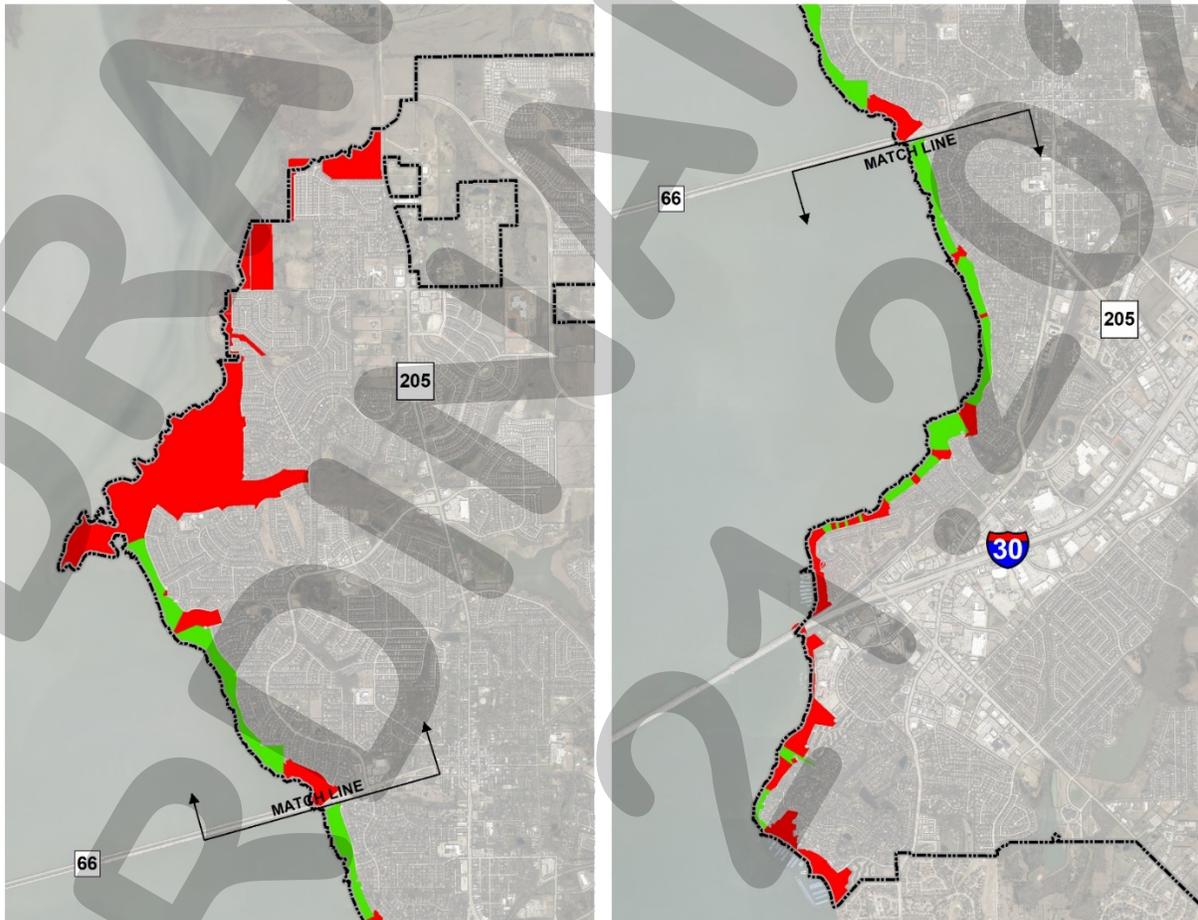
\_\_\_\_\_  
Frank J. Garza, *City Attorney*

*1<sup>st</sup> Reading:* December 21, 2020

*2<sup>nd</sup> Reading:* January 4, 2021

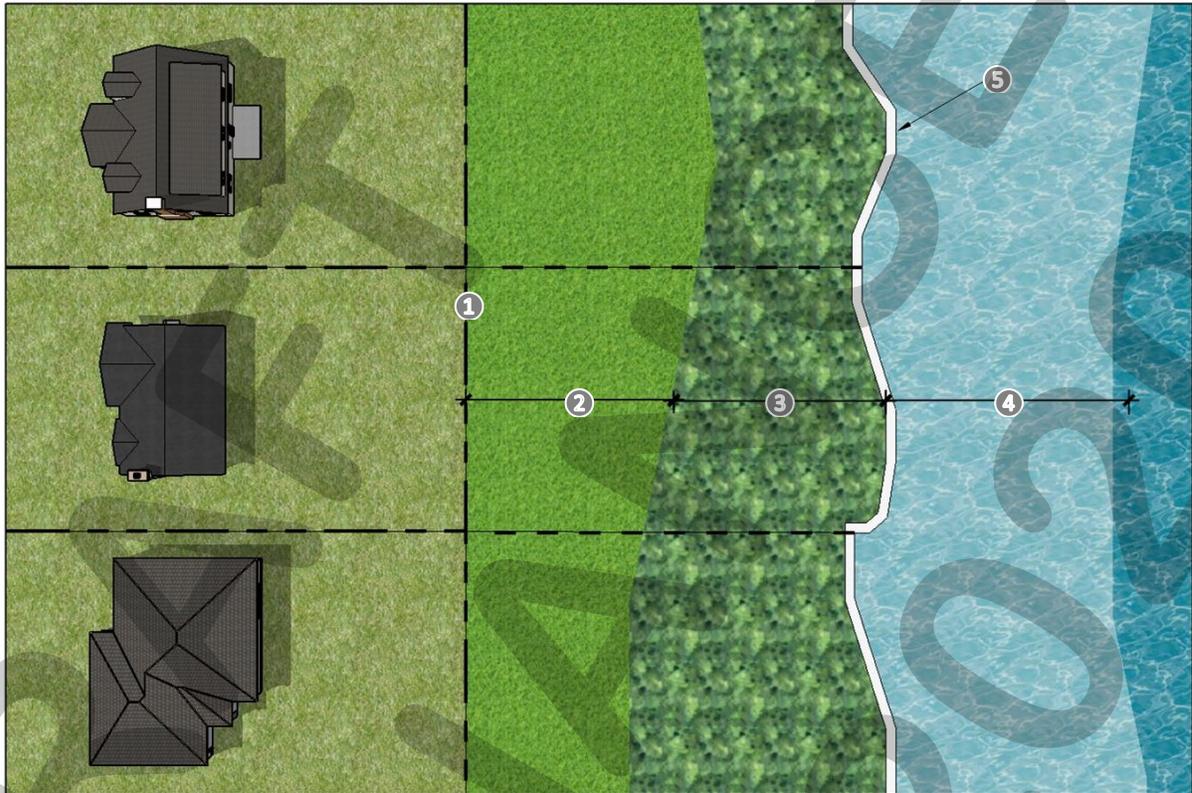
- (A) Purpose. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. *Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) Boundaries. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. *File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY; GREEN: LEASABLE PROPERTY

FIGURE 27: ELEVATION CONTOUR ZONES



❶: REAR PROPERTY LINE/TAKE LINE; ❷: 438.0 ELEVATION ZONE; ❸: 435.5 ELEVATION ZONE; ❹: 425.5 ELEVATION ZONE; ❺: SEAWALL;

(C) Applicability.

- (1) Applicable Lots. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.
- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in *Subsection 06.15(B)(1)* above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to *Subsection (J), Specifications for Permitted Land Uses*. In addition, the following terms shall be defined as follows:

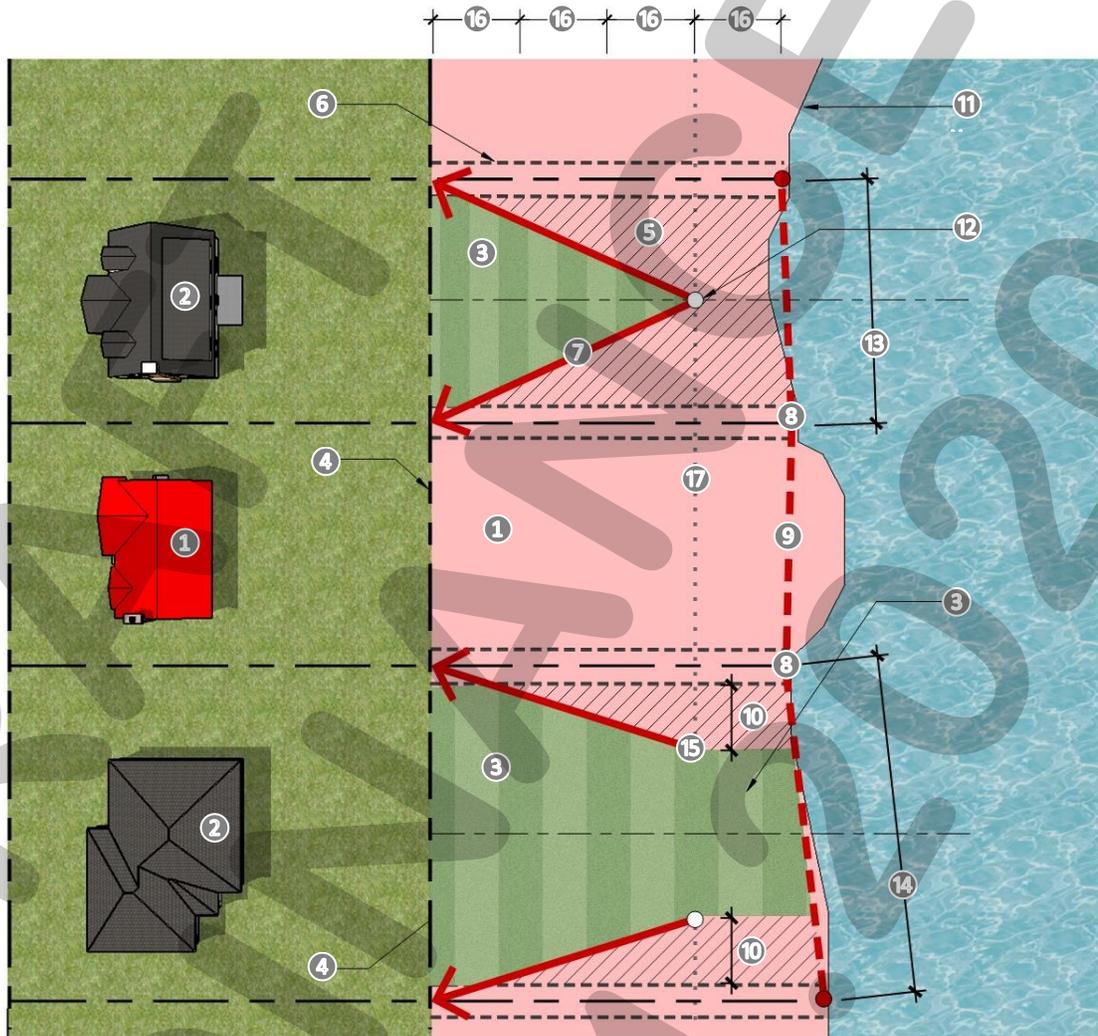
- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. parcel boundaries).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
- (6) Lake. Refers to Lake Ray Hubbard.
- (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. property at or below an elevation of 435.5-feet mean sea level).
- (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
- (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
- (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
- (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
- (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. a slip) for not more than 156-consecutive hours.
- (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
- (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. 435.5-feet mean sea level).
- (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
- (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. 435.5-feet mean sea level).
- (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
- (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
- (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see Figure Subsection (E): Visual Measurements for View Corridors).
- (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (see Figure 28: Visual Measurements for View Corridors).
- (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
  - (a) Motorized Boat. A boat propelled by an internal combustion engine.
  - (b) Sail Boat. A boat with a mast and sail propelled by the wind.

(E) Visual Measurements for View Corridors.

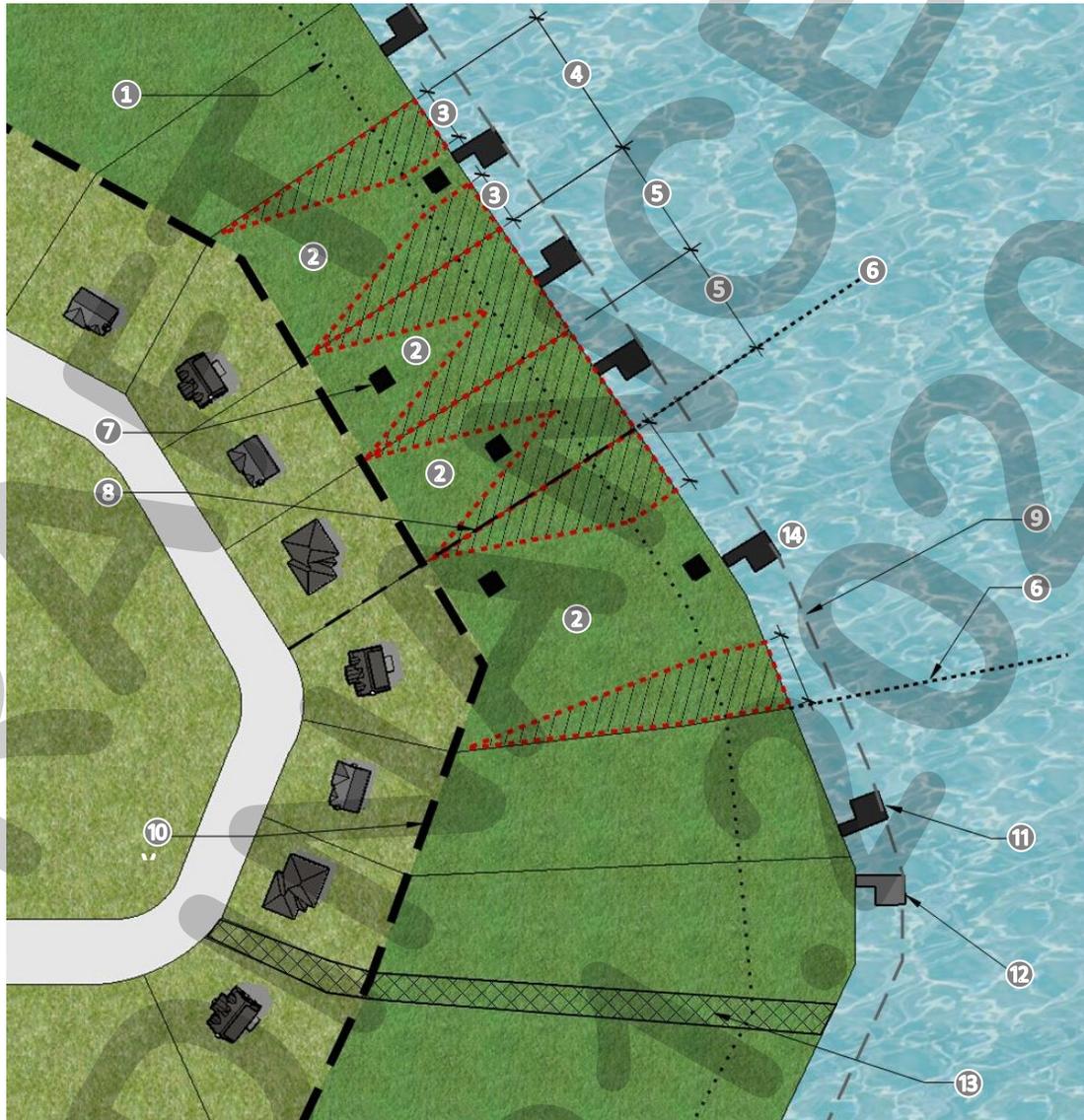
- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e.* 435.5-foot mean sea level), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:
- (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e.* 25%) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).
- (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e.* 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



①: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); ②: NEIGHBORING PROPERTY; ③: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); ④: REAR PROPERTY LINE/TAKELINE; ⑤: VIEW CLEAR ZONE (LINED AREA); ⑥: LEASE AREA SIDE YARD SETBACK; ⑦: VIEW PRESERVATION ANGLE; ⑧: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; ⑨: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] ③ POINTS IN A STRAIGHT LINE); ⑩: 30-FOOT ; ⑪: SHORELINE; ⑫: CENTER POINT AT THE QUARTER DISTANCE LINE; ⑬: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⑭: A LOT WITH A SHORELINE FRONTAGE 100- FEET OR MORE; ⑮: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⑯: 25% OF THE TAKELINE AREA; ⑰: QUARTER DISTANCE LINE.

FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



①: QUARTER DISTANCE LINE; ②: BUILDABLE AREA; ③: 30-FOET; ④: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOET OR MORE; ⑤: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOET; ⑥: LEASE AREA'S PROJECTED SIDE YARD; ⑦: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; ⑧: LEASE AREA'S SIDE YARD; ⑨: 40-FOOT BUILDING LINE; ⑩: REAR PROPERTY LINE/TAKELINE; ⑪: EXISTING BOATHOUSE; ⑫: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; ⑬: DRAINAGE EASEMENT; ⑭: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

(1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

- (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
- (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.

- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height):
- (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
  - (b) 435.5 Elevation Zone: Structures in the 435.5 Elevation Zone should be generally centered in the lease area -- equal distance from both leased side yard boundary lines -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
  - (c) 425.5 Elevation Zone: Structures located in the 425.5 Elevation Zone should be generally centered along the shoreline -- equal distance from both the leased side yard boundary lines -- behind the primary structure of the leasing property.
  - (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in Subsection (J), Specifications for Permitted Land Uses, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a Treescape Plan showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the 438.0 Elevation Zone pending they are [1] not a variety specifically listed in the prohibited tree list contained in Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements, and [2] they are not located within the view clear zone outlined Subsection (E), Visual Measurements. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.
  - (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6).
- (G) Residential Sublease Agreement. A Residential Sublease Agreement is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A Residential Sublease Agreement shall be required to build certain structures within the takeline area. It shall be a violation of the zoning

code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease ( <i>i.e. New Never Leased by Current Owner</i> ) <sup>2</sup>	\$200.00
Annual Renewal of a Lease	\$100.00
Change of Ownership of a Valid Lease	\$50.00
Reinstatement of an Expired Lease ( <i>i.e. Same Property Owner</i> ) <sup>3</sup>	\$500.00

NOTES:

- <sup>1</sup>: To be subject to these new fees, a new lease entered into after January 4, 2021 will be required (*i.e. the effective date of the amendment adopting these fees*).
- <sup>2</sup>: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.
- <sup>3</sup>: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

(H) Permitted Uses. All of the uses permitted within the *Lake Ray Hubbard Takline Overlay (TL OV) District* shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see Subsection (J), Specifications for Permitted Land Uses, or Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards.

(I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in Subsection (J), Specifications for Permitted Land Uses or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by Subsection (J), Specifications for Permitted Land Uses; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (J), Specifications for Permitted Land Uses, or Subsection (F), General Requirements, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), Visual Measurements. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (J), Specifications for Permitted Land Uses, (*e.g. jet ski lift*) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

(J) Specifications for Permitted Land Uses. See Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, for a summary of the development standards for each of the following conditional uses.

(1) Barbecue Pit.

(a) Definition. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (*for Fire Pit see Subsection 06.15(J)(9)*).

(b) Prerequisites. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *barbecue pit* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Not Permitted.

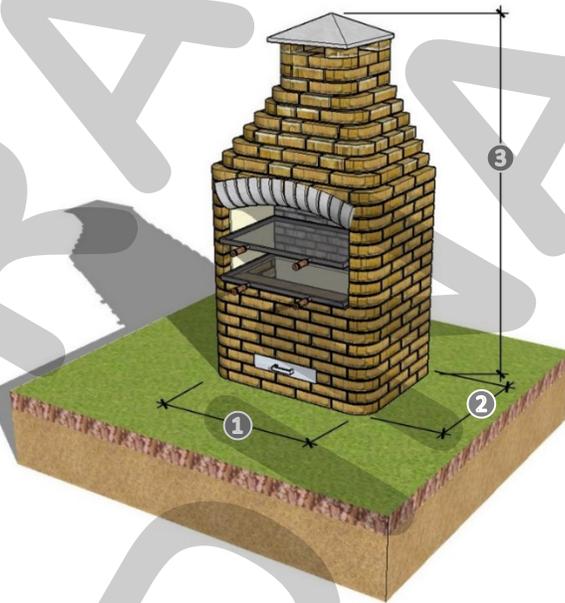
(d) Conditional Use Standards. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).

(e) Construction Standards.

(1) Building Materials. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.

(2) Height. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

- (3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.
- (f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



- ❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH;
- ❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH;
- ❸: A MAXIMUM OF SIX (6) FEET;

(2) Boathouse.

- (a) Definition. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
- (c) Conditional Use Standards. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth

decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials*) -- *products equivalent to Trex brand are preferred* -- for decking, galvanized metal/iron/steel or aluminum (*with a minimum color rating of AAMA 2604*) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellent sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e.* 435.5).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.
- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.
- (6) Additional Construction Standards.
  - (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
  - (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
  - (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
  - (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
  - (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
  - (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue,

or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a *boathouse* should generally be located in line with the primary structure on the leasing property (i.e. generally centered on the lot). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.

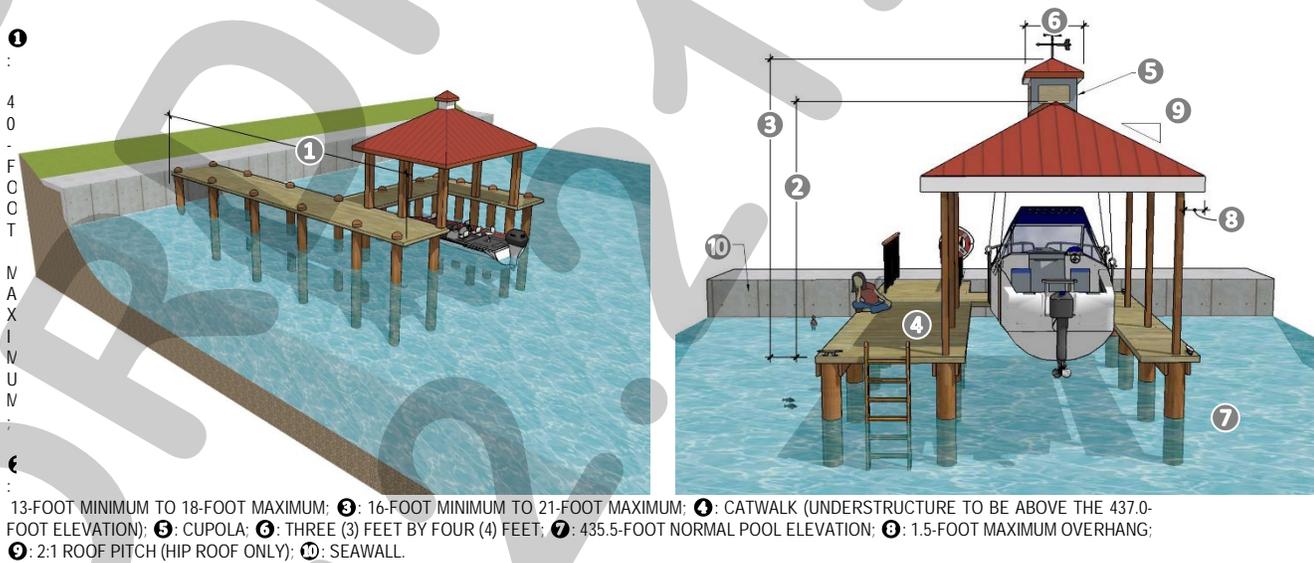
(f) Setback Requirements. A *boathouse* must adhere to the following setbacks:

- (1) Takeline Setback: 0-feet
- (2) Leased Side Yard Setback: 10-feet
- (3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

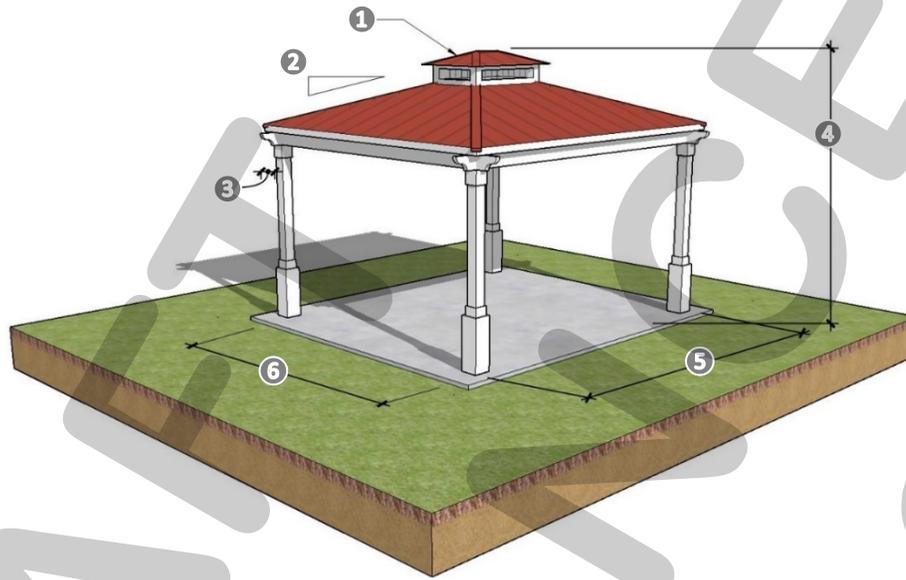
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
- (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
- (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



(3) Covered Patio.

- (a) Definition. A covered patio is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A covered patio may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A covered patio shall be allowed in the following zones:
- (1) 438.0: Permitted.
  - (2) 435.5: Permitted (*if a Seawall has been constructed*).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
  - (2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
  - (3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
  - (4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
  - (5) Location. A covered patio located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A covered patio must adhere to the following setbacks:
- (1) Takeline Setback: 6-Feet (*from the Concrete Cap of the Seawall*)
  - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
  - (2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.
  - (3) Emergency Response. The covered patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



❶: CUPOLA OR CLERESTORY; ❷: 4:1 MINIMUM ROOF PITCH; ❸: 18-INCHES MAXIMUM OVERHANG; ❹: 15-FEET MAXIMUM HEIGHT; ❺: 20-FEET MAXIMUM; ❻: 12-FEET MAXIMUM;

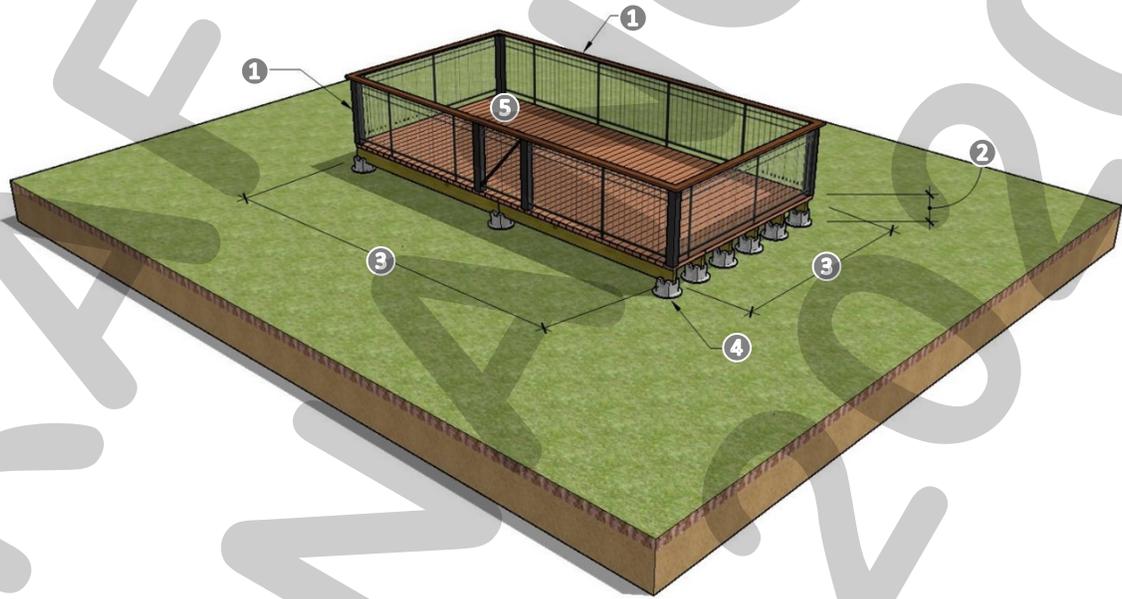
(4) Deck.

- (a) Definition. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.
- (b) Prerequisites. A *deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *deck* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted (if a *Seawall* has been constructed).
  - (3) 425.5: Not Permitted (see *Dock Deck* in Subsection 06.15(J)(5)).
- (d) Conditional Use Standards. A *deck* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards.
  - (1) Building Materials. A *deck* must be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a *deck* in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
  - (2) Height. A *deck* shall not exceed a maximum height of 24-inches above grade.
  - (3) Size. A *deck* shall not exceed a maximum area of 1,000 SF.
  - (4) Location. A *deck* located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. *Decks* shall not be placed in the view clear zone of a neighbor's view corridor.
  - (5) Foundation. A *deck* shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed *deck*.
- (f) Setback Requirements. A *deck* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *deck* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: WROUGHT IRON OR DECORATIVE METAL; ②: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; ③: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; ④: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; ⑤: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.
- (b) Prerequisites. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.
- (c) Elevation Zone. A *dock deck* shall be allowed in the following zones:
  - (1) 438.0: Not Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more than 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories

placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(e) Construction Standards.

(1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellent sealants shall not be used.

(2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.

(3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). *Dock decks* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).

(4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.

(5) Additional Construction Standards.

(a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.

(c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.

(f) Setback Requirements. A *dock deck* must adhere to the following setbacks:

(1) Takeline Setback: 0-feet

(2) Leased Side Yard Setback: 10-feet

(3) Maximum Distance from Seawall: 40-feet

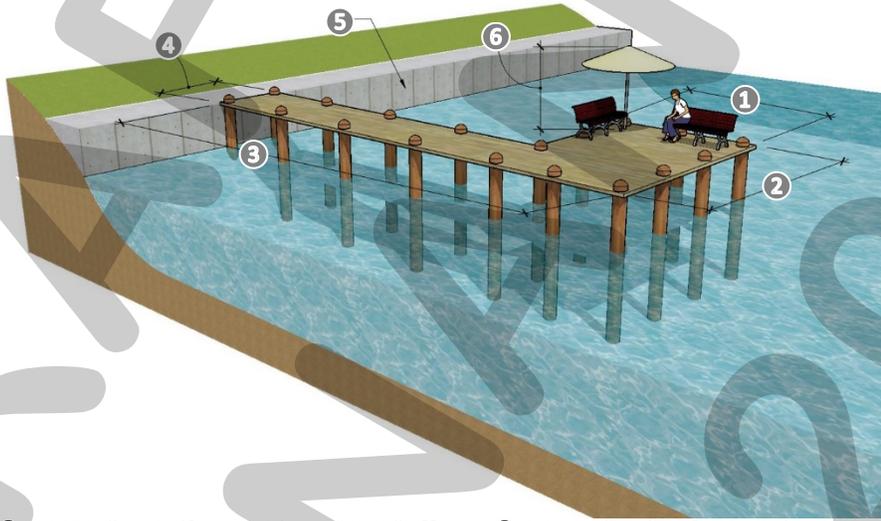
(g) Additional Requirements.

(1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas,

US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.

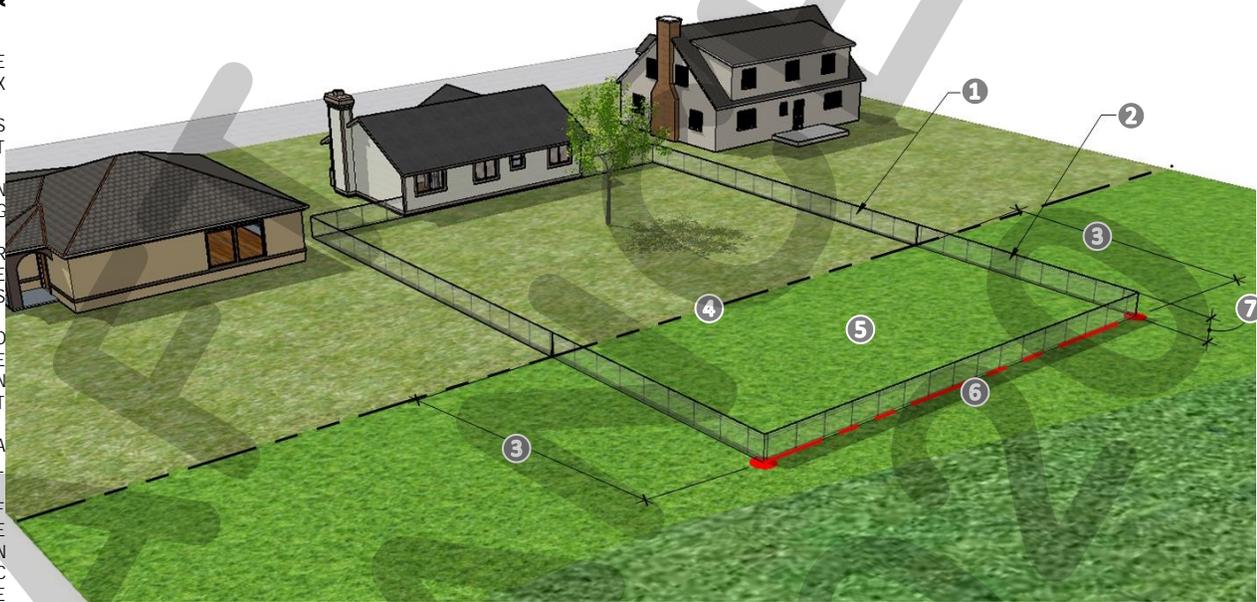


❶: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; ❷: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; ❸: 40-FOOT MAXIMUM; ❹: SIX (6) FOOT MAXIMUM; ❺: SEAWALL; ❻: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the *Takeline* corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).

EXISTS  
REAR  
SIDE  
ELEVATION  
FENCE



ON THE LEASING PROPERTY: ①: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; ②: MAXIMUM OF 45- FEET ALONG THE LEASE LINE OF THE TAKELINE; ③: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ④: 438.0 ELEVATION ZONE; ⑤: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ⑥: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall only be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.

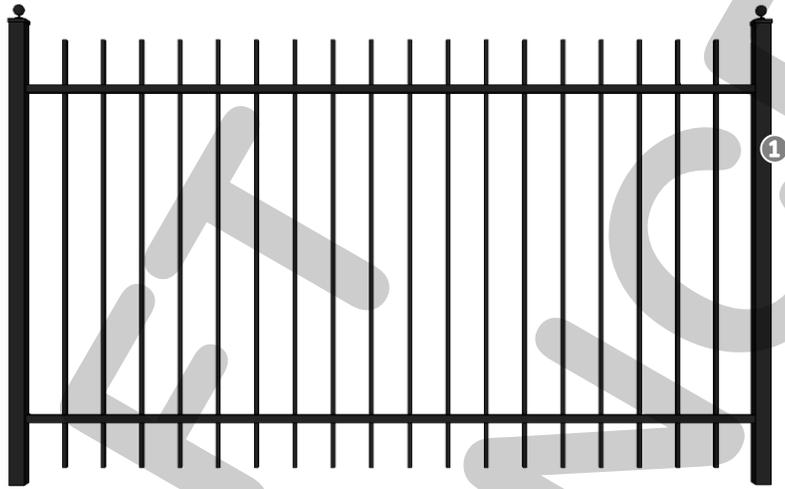
(f) Setback Requirements. A fence must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



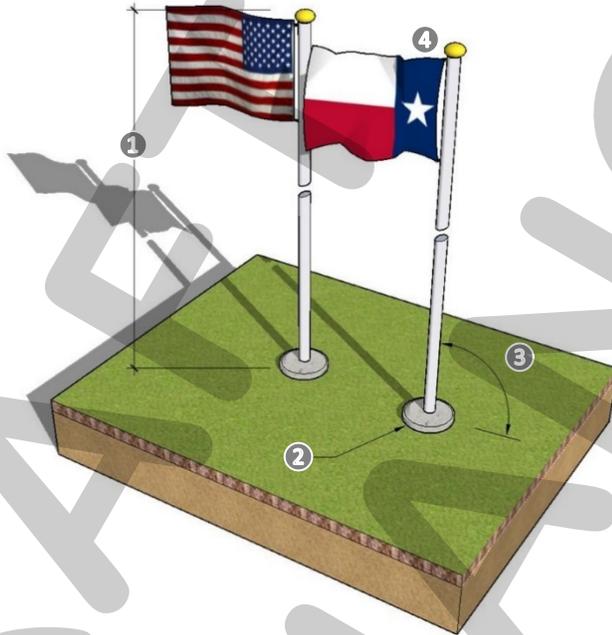
1: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

- (a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
- (b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *flagpole* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted (*if a Seawall has been constructed*).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a *flagpole* shall be prohibited.
- (e) Construction Standards.
  - (1) Building Materials. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.
  - (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
  - (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
  - (4) Location. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *flagpole* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
  - (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.

- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: MAXIMUM OF 20-FEET FROM GRADE; ②: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③: MAINTAINED TO BE 90-DEGREES FROM GRADE; ④: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

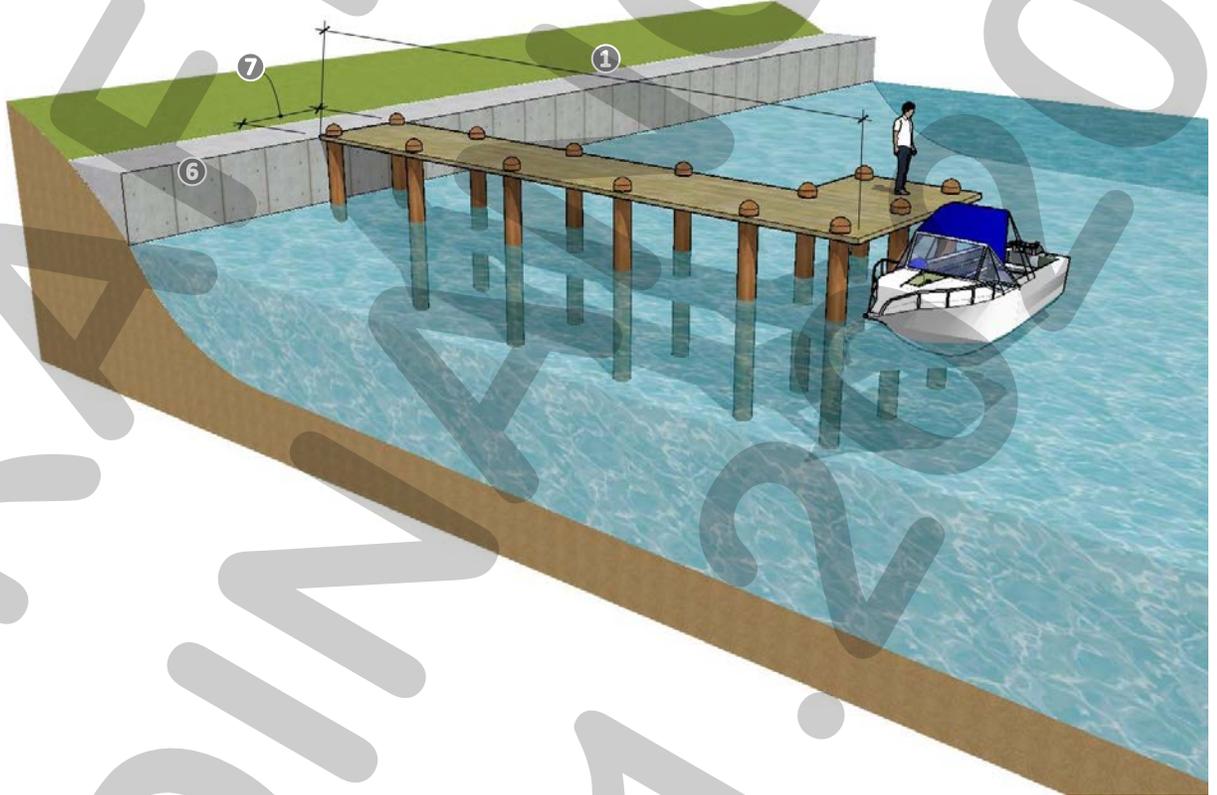
- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
- (1) 438.0: Not Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see Subsection 06.15(J)(8)(h)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.

- (1) Building Materials. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) Height. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) Size. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) Additional Construction Standards.
  - (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
  - (b) Catwalks. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
  - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *fixed piers*.
- (f) Setback Requirements. A *fixed pier* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-feet
  - (2) Leased Side Yard Setback: 10-feet
  - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
  - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials

must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A fixed pier must comply with all other applicable City of Rockwall codes.
- (3) Address. All fixed pier shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No fixed pier shall encroach into an existing or identified future easement, right-of-way, access road, or path.

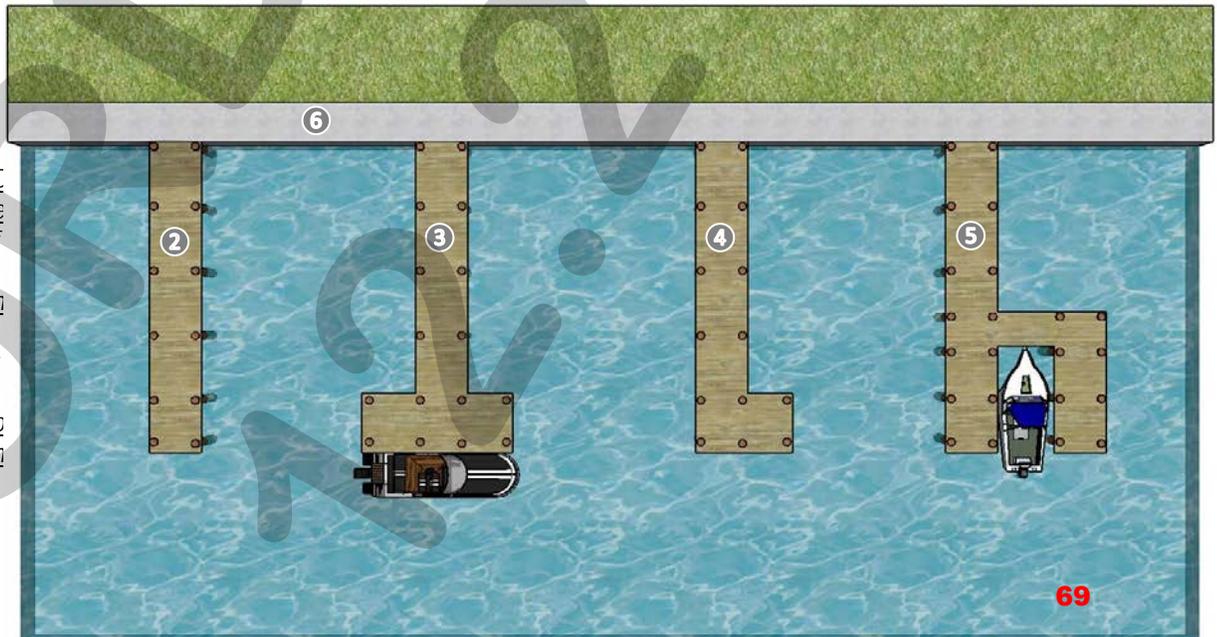
(h) Visual Representation.



1: 40-FOOT MAXIMUM; 2: PIER IN AN 'I' SHAPE; 3: PIER IN A 'T' SHAPE; 4: PIER IN A 'L' SHAPE; 5: PIER IN A 'U' SHAPE; 6: SEAWALL; 7: SIX (6) FOOT MAXIMUM

(9) Fir  
e  
Pit.

(a) Limitation.



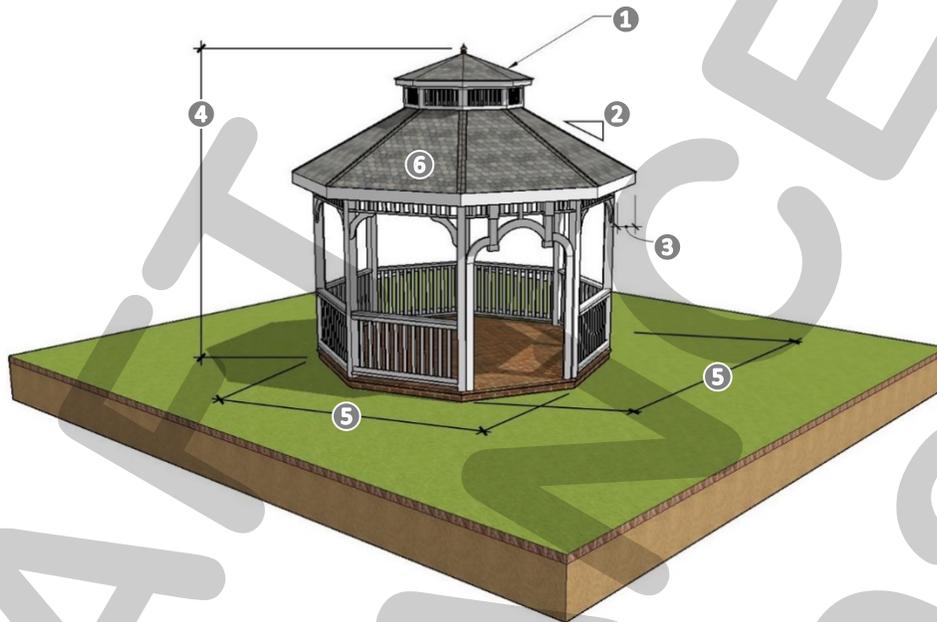
- A fire pit is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) Prerequisites. A fire pit may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
  - (c) Elevation Zone. A fire pit shall be allowed in the following zones:
    - (1) 438.0: Permitted.
    - (2) 435.5: Permitted (if a Seawall has been constructed).
    - (3) 425.5: Not Permitted.
  - (d) Conditional Use Standards. A fire pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).
  - (e) Construction Standards.
    - (1) Building Materials. The surround (i.e. the area used to contain the fire) for a fire pit must be constructed utilizing a combination of natural stone, brick, and/or concrete.
    - (2) Height. A fire pit shall not exceed a maximum of 36-inches in height.
    - (3) Size. A fire pit shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a fire pit should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
  - (f) Setback Requirements. A fire pit must adhere to the following setbacks:
    - (1) Takeline Setback: 0-Feet
    - (2) Leased Side Yard Setback: 6-Feet
  - (g) Additional Requirements.
    - (1) Earth Work. Earth work required for the construction of a fire pit must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
    - (2) Compliance with Applicable Codes. A fire pit must comply with all other applicable City of Rockwall codes.
  - (h) Visual Representation.



❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HIEGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

- (a) Definition. A *gazebo* is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.
- (b) Prerequisites. A *gazebo* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *gazebo* shall be allowed in the following zones:
- (1) 438.0: Permitted.
  - (2) 435.5: Permitted (*if a Seawall has been constructed*).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *gazebo* shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A *gazebo* built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The side trellis of the *gazebo* may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A *gazebo* built in the *435.5 Elevation Zone* shall only be built out of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *gazebo* will be constructed using steel reinforced concrete piers.
  - (2) Height. A *gazebo* shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the *gazebo* shall be measured from grade to the vertex of the *gazebo's* main roof or clerestory/cupola roof. In either case a *gazebo* shall not be larger than one (1) story or incorporate a balcony.
  - (3) Size. A *gazebo* shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
  - (4) Roof. The roof of the *gazebo* shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the *gazebo* can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
  - (5) Location. A *gazebo* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Gazebos* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *gazebo* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *gazebo* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *gazebo* must comply with all other applicable City of Rockwall codes.
  - (3) Emergency Response. The *gazebo* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FOOT MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FOOT WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

- (a) Definition. A landing is the area of a floor near the top or bottom step of a stair. A stair is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A landing and stairs may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 or 425.5 Elevation Zones* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A landing and stairs shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted (if a *Seawall* has been constructed).
  - (3) 425.5: Permitted (if a *Seawall* has been constructed).

NOTE: A landing and stairs located in the *425.5 Elevation Zone* is permitted beside the lake but not upon or over the lake.

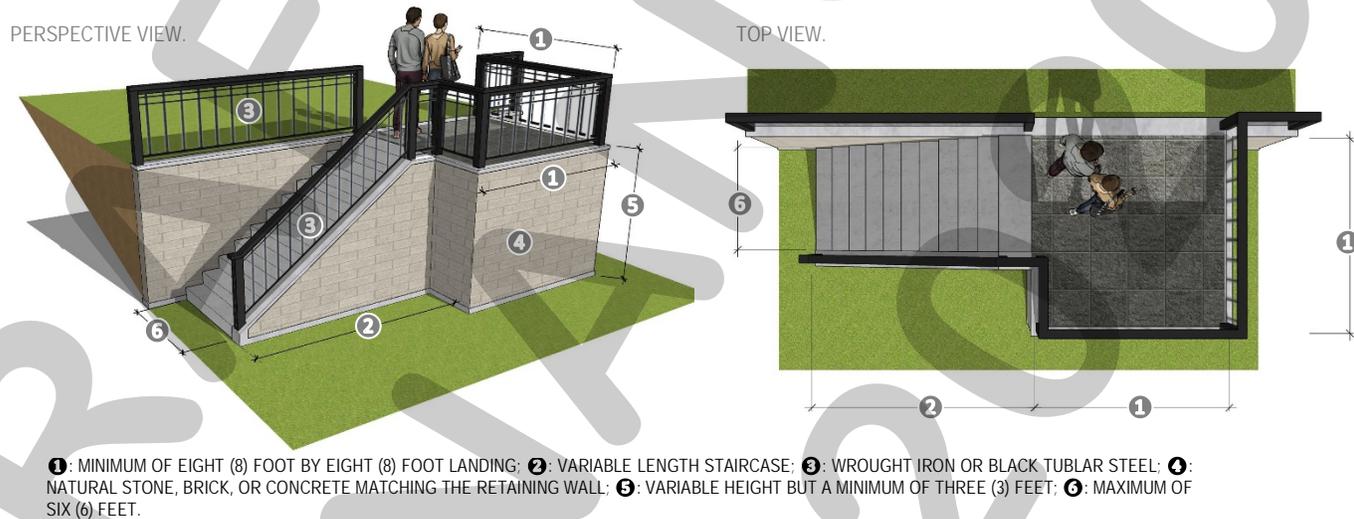
- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
  - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
  - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
  - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
  - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 5-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *landing and stairs* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *landing and stairs* must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.

**NOTE:** Remedial *landscaping* in the *425.5 Zone* is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of Article 08, Landscaping and Fence Standards, of the Unified Development Code (UDC). For information regarding planting or removing trees see Subsection (F)(4) above.

(e) Construction Standards.

- (1) Building Materials. *Retaining walls* shall be finished in native stone and will only be allowed in the *438.0 Elevation Zone* and the *435.5 Elevation Zone*. The use of mulch is prohibited in all zones with the exception

of the 438.0 Elevation Zone. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.

- (2) Height. *Retaining walls* as part of landscaping will be limited to less than three (3) feet.
- (3) Location. *Landscaping and retaining walls* shall not hinder the view clear zone of an adjacent neighbor's view corridor. *Landscaping* shall not exceed six (6) feet in height in the view clear zone.

(f) Setback Requirements. *Retaining walls* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *landscaping and retaining walls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. *Landscaping and retaining walls* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. *Landscaping and retaining walls* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

(a) Definition. *Municipal utilities* represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) Elevation Zone. *Municipal utilities* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Permitted.

(c) Conditional Use Standards. All *municipal utilities'* infrastructure is permitted within the take area. *Municipal utilities* shall be placed underground.

(d) Setback Requirements. *Municipal utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(e) Additional Requirements.

- (1) Compliance with Applicable Codes. *Municipal utilities* must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

(a) Definition. *Outdoor lighting* is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) Prerequisites. *Outdoor lighting* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. *Outdoor lighting* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.

- (3) 425.5: Not Permitted.

*NOTE*: Catwalk lighting in the *425.5 Elevation Zone* is the only permitted *outdoor lighting* allowed below the *438.0 Elevation Zone*.

- (d) Conditional Use Standards. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
- (e) Photometric Plan. A photometric plan describing compliance with the provisions of Article 07, Performance Standards, of the Unified Development Code (UDC) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).
- (f) Construction Standards.
- (1) Building Materials. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
  - (2) Height. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the *438.0 Elevation Zone* should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
  - (3) Location. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
- (g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 20-Feet
- (h) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
  - (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) Patio.

- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

- (c) Elevation Zone. A *patio* shall be allowed in the following zones:
- (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards:
- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
  - (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
  - (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
  - (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *patio* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements:
- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
  - (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

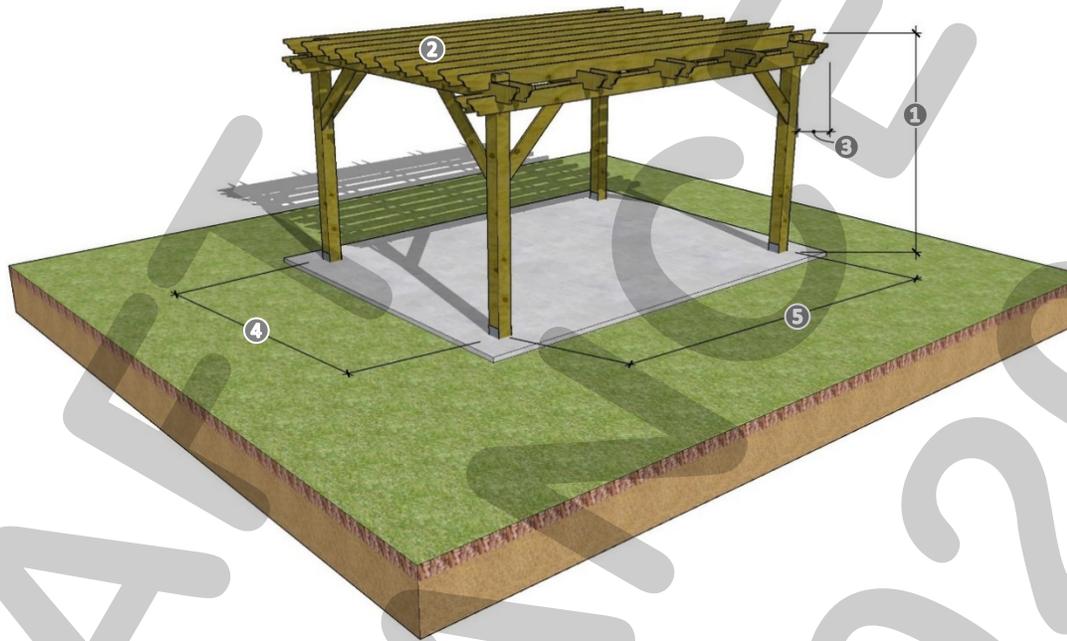


①: NATURAL STONE; ②: WROUGHT IRON OR BLACK TUBLAR STEEL; ③: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ④: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.

- (b) Prerequisites. A pergola may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A pergola shall be allowed in the following zones:
- (1) 438.0: Permitted.
  - (2) 435.5: Permitted (if a Seawall has been constructed).
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (6) Building Materials. A pergola constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A pergola constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
  - (7) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.
  - (8) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
  - (9) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.
  - (10) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A pergola must adhere to the following setbacks:
- (3) Takeline Setback: 0-Feet
  - (4) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (4) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (5) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.
  - (6) Emergency Response. The pergola shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

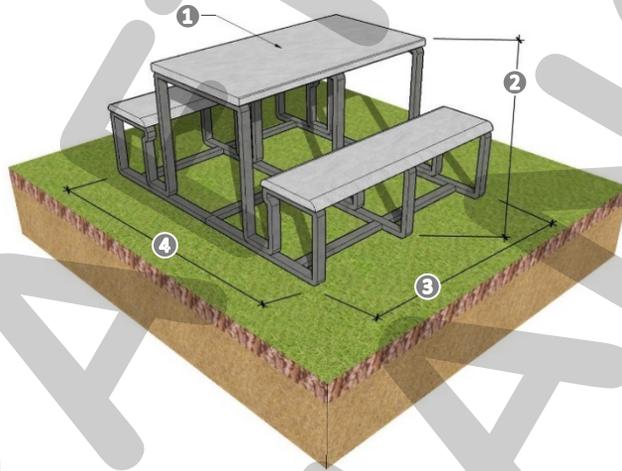


❶: 12-FOOT MAXIMUM HEIGHT; ❷: OPEN ROOF OF GIRDERS OR RAFTERS; ❸: 1.5-FOOT MAXIMUM OVERHANG; ❹: 12-FOOT MAXIMUM; ❺: 20-FOOT MAXIMUM; ❻: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) Picnic Table.

- (a) Definition. A *picnic table* is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *picnic table* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (i.e. *no roof covering*) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.
- (e) Construction Standards.
  - (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
  - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
  - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
  - (4) Location. A *picnic table* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic tables* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *picnic table* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *picnic table* must comply with all other applicable City of Rockwall codes.
  - (3) Emergency Response. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



❶: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ❷: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ❸: EIGHT (8) FOOT MAXIMUM; ❹: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

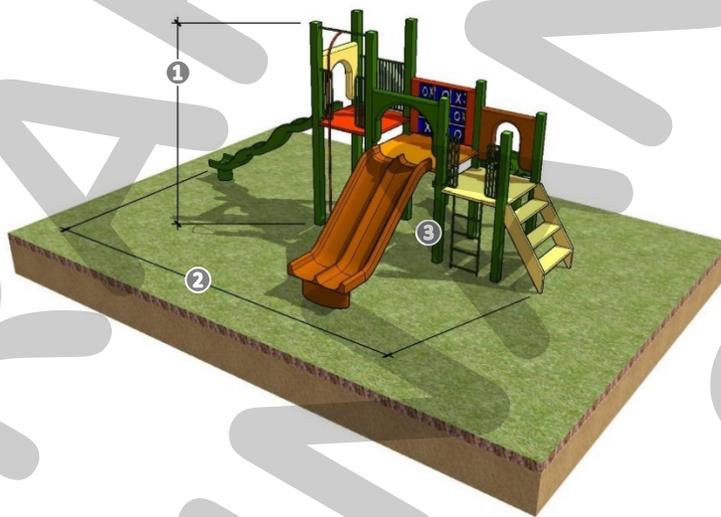
- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.
- (e) Construction Standards.
  - (1) Building Materials. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.
  - (2) Height. A *private play structure* shall not exceed a maximum of eight (8) feet in height.
  - (3) Size. All *private play structures* will be situated in a collected area that is a maximum of 1,000 SF in area.
  - (4) Location. *Private play structures* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *private play structures* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *private play structures* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private play structure* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *private play structure* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



❶: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ❷: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ❸: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. *Private utilities* are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. *Private utilities* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Private utilities* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
  - (1) Building Materials. *Private utilities* shall only be constructed out of materials permitted by the City's Engineering Department.

- (2) Location. *Private utilities* within 20-feet of the normal pool elevation shoreline (i.e. 435.5) shall be built to handle load factors associated with emergency and service vehicles. *Private utilities* containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.
- (f) Setback Requirements. *Private utilities* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 0-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
  - (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.
- (20) Private Walkways.
- (a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.
  - (b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
  - (c) Elevation Zone. *Private walkways* shall be allowed in the following zones:
    - (1) 438.0: Permitted.
    - (2) 435.5: Permitted (if a *Seawall* has been constructed).
    - (3) 425.5: Not Permitted.
  - (d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs* in Subsection 06.15(J)(11)).
  - (e) Construction Standards.
    - (1) Building Materials. *Private walkways* shall be constructed using native stone, brick and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, asphalt, or concrete.
    - (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
    - (3) Size. *Private walkways* shall be no greater than 48-inches in width.
    - (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-foot wide, suitable for access, and will connect to adjacent access paths.
  - (f) Setback Requirements. *Private walkways* must adhere to the following setbacks:
    - (1) Takeline Setback: 0-Feet
    - (2) Leased Side Yard Setback: 10-Feet
  - (g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *seawall* shall be allowed in the following zones:
  - (1) 438.0: Not Permitted.
  - (2) 435.5: Not Permitted.
  - (3) 425.5: Permitted.

**NOTE:** Seawalls are only permitted along the shoreline.

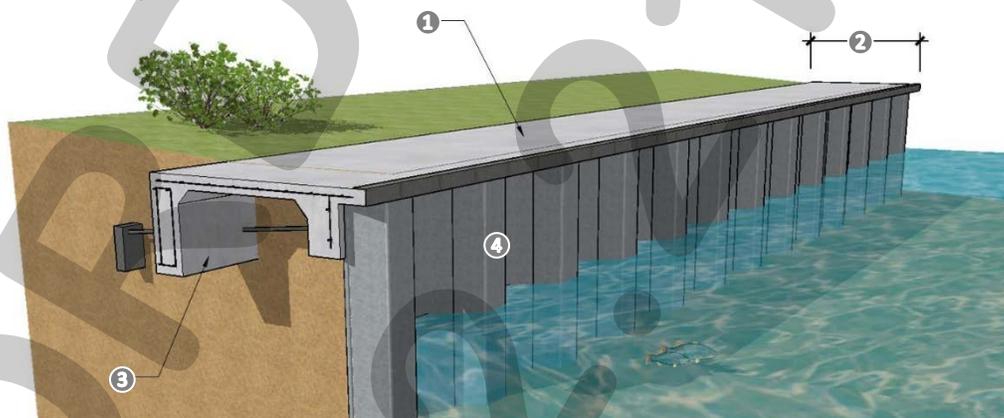
(d) Construction Standards.

- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *seawalls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *seawall* must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.



❶: CONCRETE WALKWAY; ❷: SIX (6) FOOT MINIMUM; ❸: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; ❹: RETAINING WALL.

(22) Sprinkler/Irrigation System.

- (h) Definition. A *sprinkler/irrigation system* is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (i) Prerequisites. A *sprinkler/irrigation system* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (j) Elevation Zone. A *sprinkler/irrigation system* shall be allowed in the following zones:
  - (1) 438.0: Permitted.
  - (2) 435.5: Permitted.
  - (3) 425.5: Not Permitted.

*Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.*

- (k) Conditional Use Standards. A *sprinkler/irrigation system* must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.
- (l) Construction Standards.
  - (1) Building Materials. A *sprinkler/irrigation system* shall *only* be constructed utilizing *Schedule 40 PVC pipe*.
  - (2) Height. The heads of a *sprinkler/irrigation system* used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
  - (3) Location. A *sprinkler/irrigation system* shall be allowed up to one (1) foot of the normal pool elevation shoreline (*i.e.* 435.5) provided no part of the system could potentially result in lake siltation erosion.
- (m) Setback Requirements. A *sprinkler/irrigation system* must adhere to the following setbacks:
  - (1) Takeline Setback: 0-Feet
  - (2) Leased Side Yard Setback: 0-Feet
- (n) Additional Requirements.
  - (1) Earth Work. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
  - (2) Compliance with Applicable Codes. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.
  - (3) Damage to the System. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

LAND USE <sup>1</sup>	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(U)	PRE-REQUISITES L: SUBLEASE; S: SEAWALL; FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS NS: NATURAL STONE B: BRICK C: CONCRETE CM: COMPOSITE MATERIALS GM: GALVANIZED METAL IR: IRON SS: STAINLESS STEEL S: STEEL M: METAL A: ALUMINUM CW: CEDAR RW: REDWOOD IW: IRONWOOD SSM: STANDING SEAM METAL WR: WROUGHT IRON R: RUBBER
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE <sup>2, 4, 5, &amp; 15</sup>	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS <sup>3</sup> ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO <sup>5 &amp; 15</sup>	(3)	L & S <sup>16</sup>	P	P	X	0'	12' x 20'	0'	15' <sup>6 &amp; 7</sup>	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK <sup>5 &amp; 18</sup>	(4)	L & S <sup>16</sup>	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK <sup>2 &amp; 5</sup>	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' <sup>8</sup>	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE <sup>5 &amp; 9</sup>	(7)	L & S <sup>16</sup>	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER <sup>2 &amp; 5</sup>	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' <sup>10</sup>	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S <sup>16</sup>	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO <sup>5 &amp; 15</sup>	(10)	L & S <sup>16</sup>	P	P	X	0'	12' x 12'	0'	15'/18' <sup>7 &amp; 11</sup>	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S <sup>17</sup>	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO <sup>5 &amp; 18</sup>	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA <sup>5</sup>	(16)	L & S <sup>16</sup>	P	P	X	0'	12' x 20'	0'	12' <sup>7</sup>	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S <sup>16</sup>	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS <sup>12 &amp; 13</sup>	(22)	L	P	P	X	<b>NOTES:</b>					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P	1: FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS.					
OUTDOOR LIGHTING	(14)	L	P	X	X	2: BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR.					
PRIVATE UTILITIES	(19)	L	P	P	X	3: REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF.					
SEAWALL	(21)	L	X	X	P	4: SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL.					
SPRINKLER/ IRRIGATION SYSTEM <sup>14</sup>	(22)	L	P	P	X	5: THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROPERTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).					
						6: REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.					
						7: SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.					
						8: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN					

FOUR (4) POLE STRUCTURES ALLOWED.

<sup>9</sup>: A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.

<sup>10</sup>: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.

<sup>11</sup>: REQUIRES A HIP OR GABEL ROOF OR A HIP AND/OR GABEL ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.

- 12: REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
- 13: RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
- 14: HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVERAGE BASE OF THE SURROUND TERRAIN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.
- 15: ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
- 16: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
- 17: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
- 18: HANDRAILS ARE PROHIBITED IN THE 435.5 ELEVATION ZONE.

DRAFT  
ORDINANCE  
12.27.2020



## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-048; SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 701 T. L. TOWNSEND DRIVE

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### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Neighborhood Notification Email  
Property Owner Notification Map  
Property Owner Notification List  
Public Notice  
Property Owner Notifications  
Residential Plot Plan  
Building Elevations  
Floor Plan  
Housing Analysis  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP).



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** December 21, 2020  
**APPLICANT:** Brenda Kennedy  
**CASE NUMBER:** Z2020-048; *Specific Use Permit (SUP) for a Residential Infill for 701 T. L. Townsend Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. The City's historic zoning maps show that the subject property was zoned Commercial (C) District as of January 3, 1972. Between May 16, 1983 and December 7, 1993, the subject property was rezoned Single-Family 7 (SF-7) District. On June 9, 1986, the City Council approved a final plat (*Case No. PZ1986-037-01*) establishing the subject property as Lot 1, Block A, Richard Harris #5 Addition. This plat was filed with Rockwall County on October 7, 1986. As part of this plat, the then owner of the subject property -- Richard Harris -- dedicated a 7.5' water line easement running parallel to the southern property line. Based on the reviewed information, the subject property has remained vacant since its incorporation into the City of Rockwall.

### PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 701 T. L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.33-acre vacant tract of land (*i.e. Tract 52 of the R. Ballard Survey, Abstract No. 29*) zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several tracts of land zoned Single-Family 7 (SF-7) District that are currently developed with single-family homes.

South: Directly south of the subject property is a 0.444-acre parcel of land (*i.e. Lot 1, Block A, Richard Harris #6*) zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses. Beyond this is the entry to the Park Place Subdivision and Park Place Boulevard, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this subdivision is a 0.681-acre vacant tract of land (*i.e. Tract 35 of the R. Ballard Survey, Abstract No. 35*) zoned Planned Development District 59 (PD-59) for Residential Office (RO) District land uses. Beyond this is right-of-way owned by the Dallas Garland and New Orleans Railroad (DGNO).

East: Directly east of the subject property is a 0.33-acre vacant tract of land (i.e. Tract 52 of the R. Ballard Abstract No. 29) zoned Single-Family District 7 (SF-7) District. Beyond this are two (2) parcels of land (i.e. Lot 1 & 2 of Renfro Place South Addition) with single-family homes situated on them. Both parcels of land are zoned Single-Family 7 (SF-7) District. East of this is a 1.883-acre vacant parcel of land owned by the Park Place Homeowners Association, zoned Planned Development District 59 (PD-59) for Single-Family 7 District (SF-7) land uses, and identified as open space on the final plat for this subdivision.

West: Directly west of the subject property is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (i.e. Lot 1, Block 1, Allen Hogue Subdivision and Lots 67 & 68, Block B, B. F. Boydston Addition) zoned Planned Development District 52 (PD-52) for Two-Family District (2F) District land uses. Beyond this is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are seven (7) single-family homes situated on seven (7) parcels of land zoned for Zero Lot Line 5 (ZL-5) District (i.e. Phase 1 & 2 of the Integrity Addition).

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Harris Subdivision and the B. F. Boydston Subdivision. Both of these subdivisions have been in existence for greater than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on E Boydston Avenue, Renfro Street, and T. L. Townsend Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Boydston Avenue, Renfro Street, N. TL Townsend Drive and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face south towards the side property line.
Year Built	1925-2018	N/A
Building SF on Property	934 SF – 2,403 SF	1,831 SF (1,355 SF of Air-Conditioned Space)
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between ten (10) Feet and 20-Feet	25-Feet
Side	The side yard setbacks greater than six (6) feet.	7'-7½"
Rear	The rear yard setbacks are greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	White, Grey, Brown, Blue, & Green,	White (Primary), Black (Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite (Primary), Metal (Accent)
Driveways/Garages	Driveways all front the same street the single-family home faces.	The garage will be attached (J-Swing) and located 12' behind the façade facing on to T. L. Townsend Drive.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along E. Boydston Avenue, Renfro Street, and T. L. Townsend Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

### **NOTIFICATIONS**

On November 18, 2020, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) email and three (3) paper notices from six (6) property owners in opposition to the applicant's request.

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Conway dissenting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5 Lot 1 Block A

General Location BETWEEN 619 RENFRO & 703 N. TL TOWNSEND

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Brenda Kennedy

Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip ROCKWALL 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

## NOTARY VERIFICATION [REQUIRED]

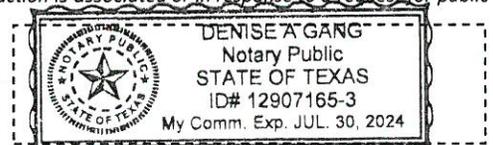
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020

Owner's Signature \_\_\_\_\_

Notary Public in and for the State of Texas \_\_\_\_\_



My Commission Expires July 30, 2024

0 20 40 80 120 160 Feet

Z2020-048- SUP FOR 701 N. TL TOWNSEND DRIVE  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

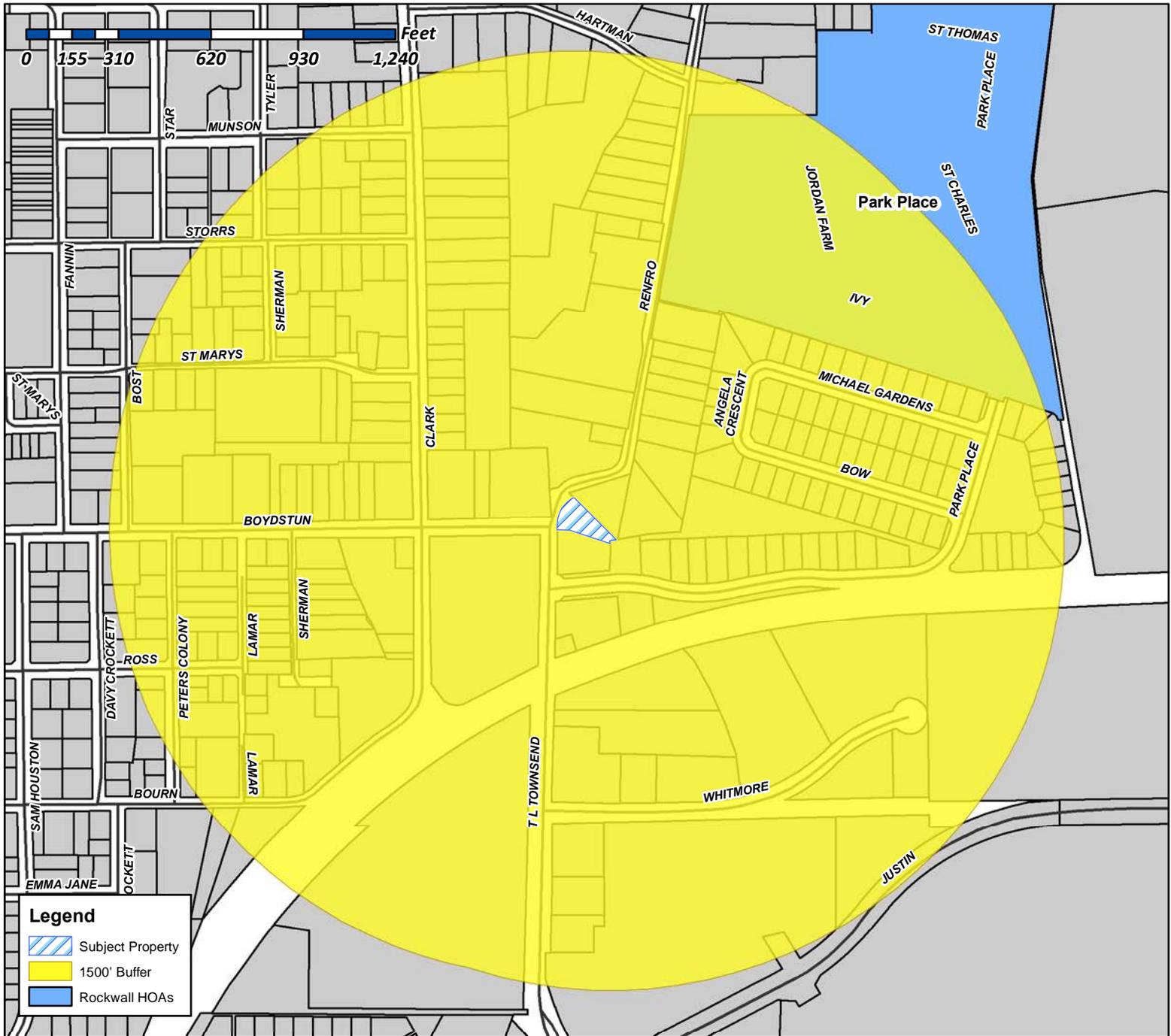
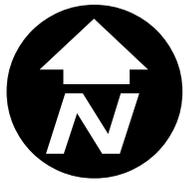




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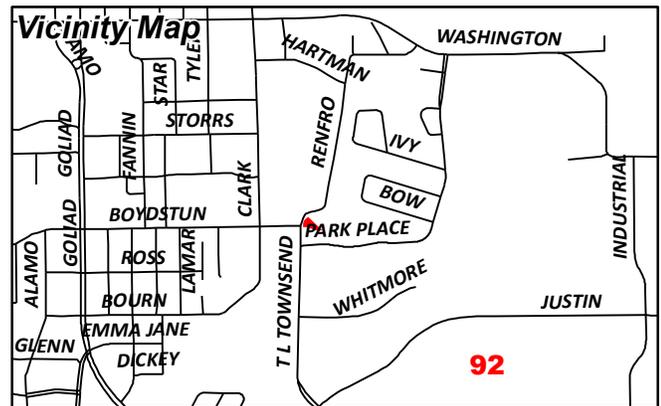


**Legend**

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

**Case Number:** Z2020-048  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 701 N. TL Townsend Drive

**Date Created:** 11/12/2020  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

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**From:** Gamez, Angelica  
**Sent:** Wednesday, November 18, 2020 2:30 PM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program  
**Attachments:** HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2020-048 Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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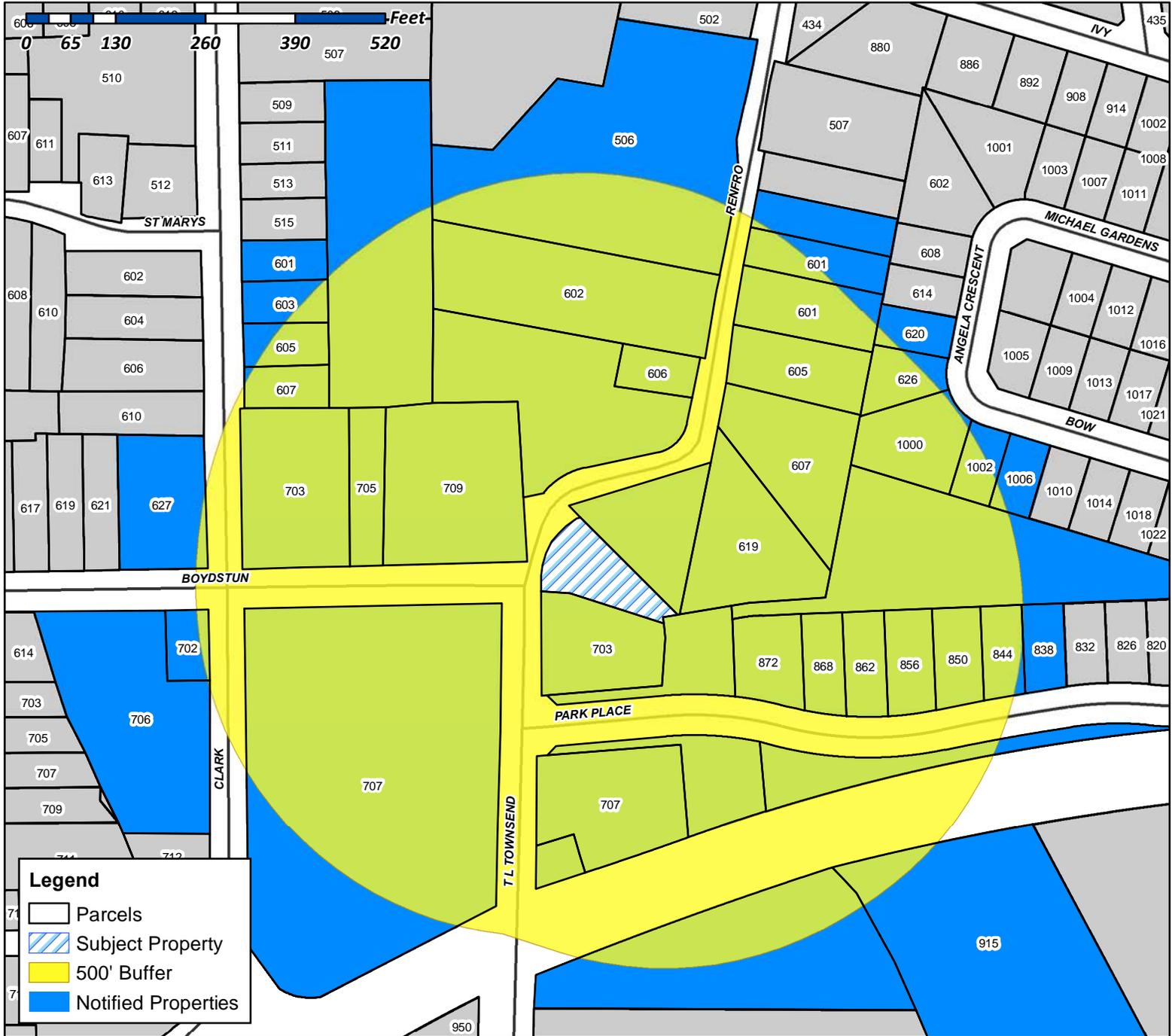
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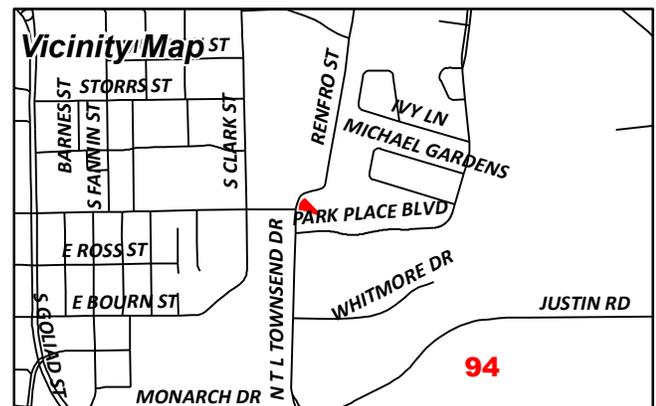
# City of Rockwall

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**Case Number:** Z2020-048  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 701 N. TL Townsend Drive



**Date Created:** 11/12/2020  
 For Questions on this Case Call (972) 771-7745

KENNEDY BRENDA K  
1630 SHORES BLVD  
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A  
1000 BOW ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
1002 BOW ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
1006 BOW ST  
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY  
1498 HUBBARD DR  
FORNEY, TX 75126

HARRIS RICHARD & JUDY  
210 GLENN AVE  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
301 MEADOWDALE  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A  
4 MANOR CT  
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C  
506 RENFRO ST  
ROCKWALL, TX 75087

HOGUE ALLEN  
513 RIDGEVIEW DR  
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY  
5505 RANGER DR  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
601 RENFRO ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
601S CLARK ST  
ROCKWALL, TX 75087

HOGUE CAROLYN SUE  
602 RENFRO  
ROCKWALL, TX 75087

RIVERA SARA ELIA  
603S CLARK ST  
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D  
605 RENFRO ST  
ROCKWALL, TX 75087

CASTILLO JUAN JAIME  
605 S CLARK ST  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
606 RENFRO ST  
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA  
607 MOUNTCASTLE DR  
ROCKWALL, TX 75087

HARRINGTON DEBORAH  
607 RENFRO ST  
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED  
607 SOUTH CLARK STREET  
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY  
619 RENFRO ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
620 ANGELA CRESCENT  
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA  
626 ANGELA CRESCENT  
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND  
VICTORIA NGOC TRAN-KNOWLES  
627 EAST BOYDSTUN AVENUE  
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC  
627 SORITA CIR  
HEATH, TX 75032

HARSTROM STUART & SUSAN  
675 DANIELLE CT  
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC  
702 S CLARK ST  
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY  
703 TOWNSEND DR  
ROCKWALL, TX 75087

HOGUE ALLEN  
703 E BOYSTUN AVE  
ROCKWALL, TX 75087

HOGUE ALLEN  
705 E BOYDSTUN AVE  
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC  
% DOUGLAS A KAUFMANN  
706 S CLARK ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY  
707 TOWNSEND  
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL  
DISTRICT PUBLIC FACILITY CORP  
707 S CLARK  
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY  
709 E BOYDSTUN AVE  
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL  
DISTRICT PUBLIC FACILITY CORP  
801 E WASHINGTON ST  
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA  
815 T L TOWNSEND SUITE 101  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
838 PARK PLACE BLVD  
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN  
844 PARK PLACE BLVD  
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN  
850 PARK PLACE BLVD  
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY  
856 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
862 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
868 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
872 PARK PLACE BLVD  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
880 IVY LANE  
ROCKWALL, TX 75087

COUNTY OF ROCKWALL  
915 WHITMORE  
ROCKWALL, TX 75087

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-048: Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-048: Specific Use Permit for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-048: Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2020-048: Specific Use Permit for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The "front elevation" appears to be a boarded up shed. That is detrimental to the area and home values. I am sure a better

Name: Bill Brizker Park Trace  
Address: 305 Park Trace Blvd., Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Gamez, Angelica

---

**From:** bill@colventures.com  
**Sent:** Monday, November 23, 2020 3:11 PM  
**To:** Planning  
**Subject:** Z 2020-48 SUP

The Park Place HOA objects to this application as the front of the house does not face Townsend and so presents a poor image to the street. Park place has work tirelessly to improve the area and we do not feel this orientation is complementary to the area and especially to the house to the south which recently cleaned and renovated. The entrance to Park Place on Townsend is important and the new house should help keep the image being created.

Thanks,

Bill

Bill Bricker

Columbia Development Company, LLC  
305 Park Place Blvd.  
Rockwall, TX 75087  
972-722-2439

---

This email was scanned by Bitdefender

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## Gamez, Angelica

---

**From:** wade91805@yahoo.com  
**Sent:** Monday, November 23, 2020 6:52 PM  
**To:** Planning  
**Subject:** 701 N T.L Townsend

I am against the SUP for 701 T. L. Townsend. The front elevation is unacceptable and does not reflect the community. The side that faces the street should be the front of the home. There should be no budget impact to orient the home better.

If I can provide further input please do not hesitate to reach out to me.

Respectfully,  
Wade Walker  
426 Jordan Farm Circle  
Rockwall 75087

Sent from my iPhone

---

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## Gamez, Angelica

---

**From:** Nicole Cox <nicolecoxdesigns@gmail.com>  
**Sent:** Tuesday, November 24, 2020 9:57 AM  
**To:** Planning  
**Subject:** CASE # Z2020-048

To whom it may concern,

I am opposed to the to the request, case Z2020-048, due to the reasons listed below:

I am concerned with the aesthetics of the "front elevation". If this front elevation design faces Renfro Street this may give an uninviting and industrial appearance versus single home residence. The current front elevation design illustrates 4 same sized windows with Bermuda shutters, shutters hinged at the top vs sides, and a flat facade. These 3 design elements together illustrate an uninviting and commercial appearance. Bermuda shutters are a beautiful touch, especially on the coast, if done correctly by adding different aesthetics and values and the overall design is copacetic and comprehensive. Long story short, the front elevation does not make any sense, is closed off and is not aesthetically pleasing. Counterintuitive to keeping the integrity of our historic downtown partaing to new single residence builds.

Thank you for your time and consideration.

Sincerely,  
Nicole Cox  
613 Park Pl Blvd, Rockwall, TX 75087



---

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## Gamez, Angelica

---

**From:** gtbrewer4676@cebridge.net  
**Sent:** Friday, November 27, 2020 12:19 PM  
**To:** Planning  
**Subject:** SUP Near Townsend Entrance of Park Place Division, Case No. Z2020-048

Gentlemen: As owners of property in the sub-division of Park Place at Old Town, we wanted to state our opinion on the proposed single family house to be built for Brenda Kennedy, owner, at 701 N. T.L. Townsend Drive, Rockwall. The proposed street facade of the house appears to be in actuality the rear of the house. This is not aesthetically pleasing for the general area, is an inappropriate look, and would deter, in our opinion, from the surrounding properties' values since it is so very near to the entrance of our sub-division. Therefore, we are entering our protest with you and request that the present plan be re-thought to make for a more pleasing and appropriate residential look.

--

Robert and Gayle Brewer  
1004 Michael Gardens  
Rockwall, TX 75087

"In God We Trust"

---

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-048: Specific Use Permit for Residential Infill**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*A don't have a problem with a home being built at that location, but the design needs to fit the surrounding neighborhood.*

Name: *Stuart Harstrom*

Address: *844 Park Place Blvd Rockwall 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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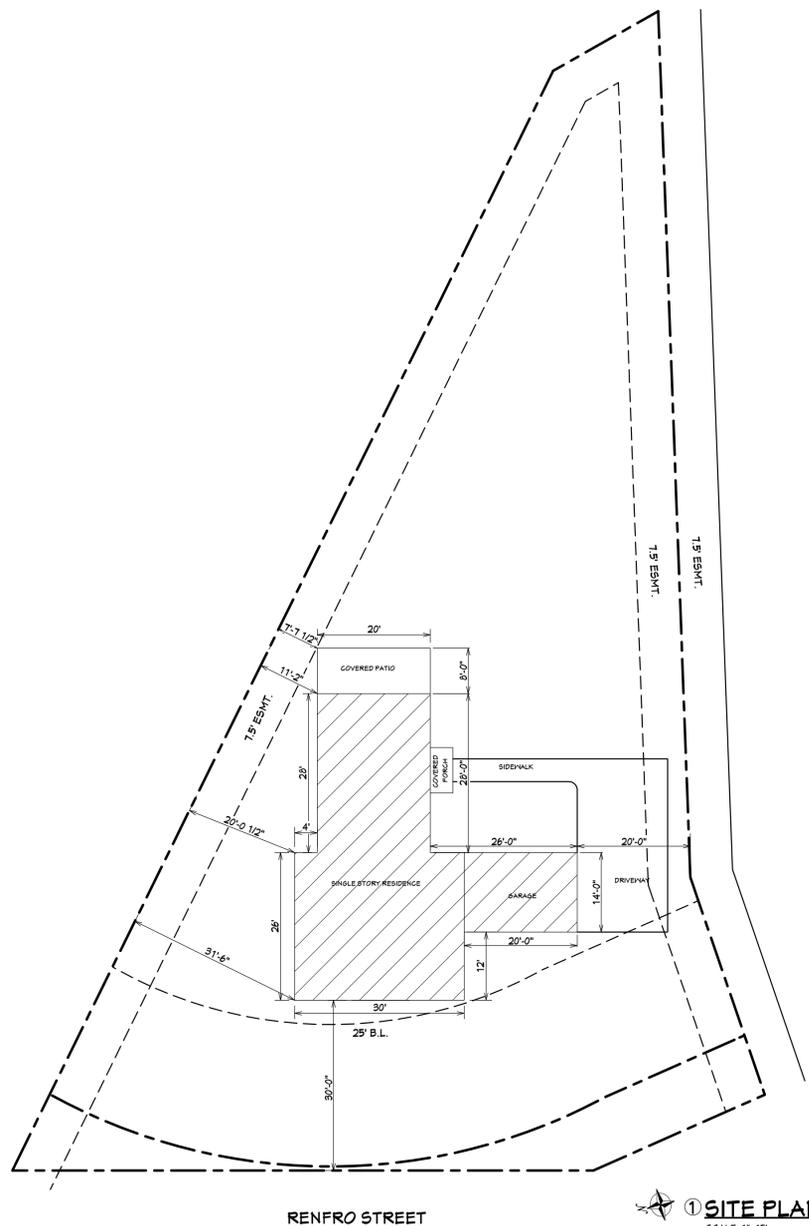
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The design of the house does not appear to fit in with the surrounding neighborhood.

Name: Susan Harstrom  
Address: 844 Park Place Blvd, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

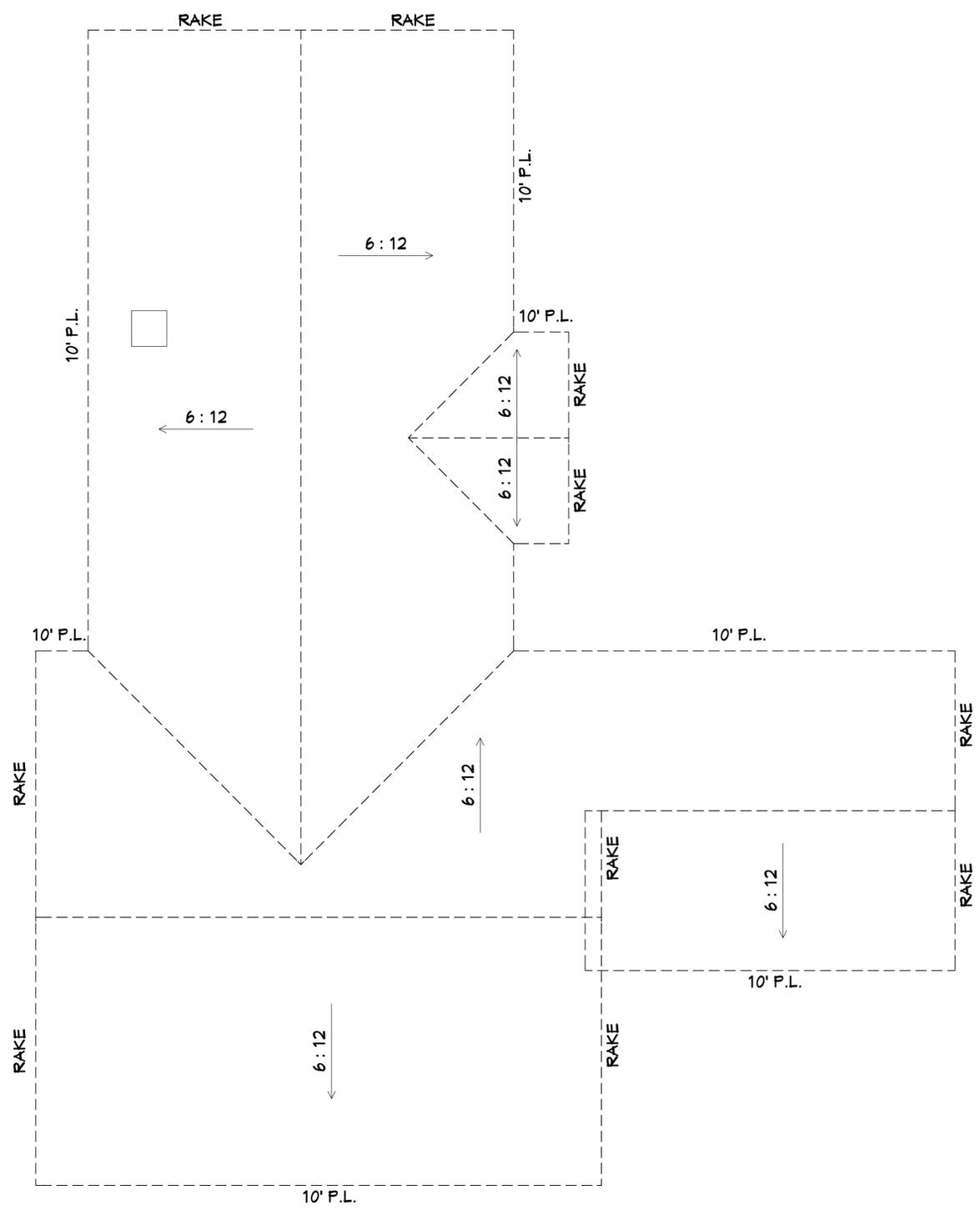
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



RENFRO STREET

**1 SITE PLAN**  
SCALE: 1"=15'

NOTE:  
 1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.  
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.  
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



**2 ROOF PLAN**  
SCALE: 1/4"=1'

PLANS FOR:  
 BRENDA KENNEDY  
 RENFRO STREET  
 ROCKWALL, TEXAS 75087

TITLE:  
 SITE PLAN / ROOF PLAN

SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
 3704 CR 2522  
 ROYSE CITY, TEXAS 75118  
 469-558-9863

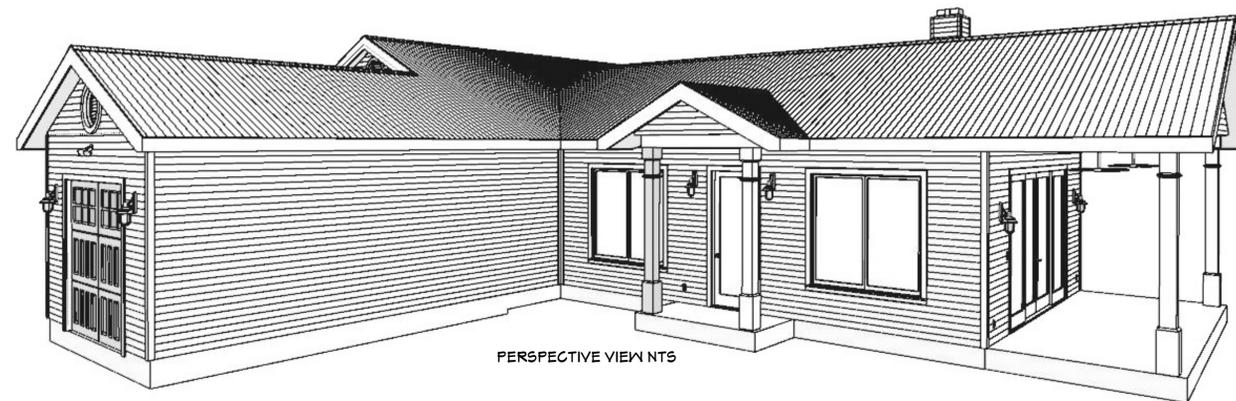
DATE:  
 4/15/2020

SCALE:  
 AS SHOWN

SHEET:

**A-2**

# KENNEDY RESIDENCE: BRENDA KENNEDY



### GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

### BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

### CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table	
Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:  
BRENDA KENNEDY  
RENFRO STREET  
ROCKWALL, TEXAS 75087

TITLE:  
COVER PAGE

SHANNON NEWSOM  
MARK NEWSOM  
**CADAZIGN**  
3704 CR 2522  
ROYSE CITY, TEXAS 75118  
469-558-9863

DRAWN BY:

DATE:  
4/15/2020

SCALE:  
AS SHOWN

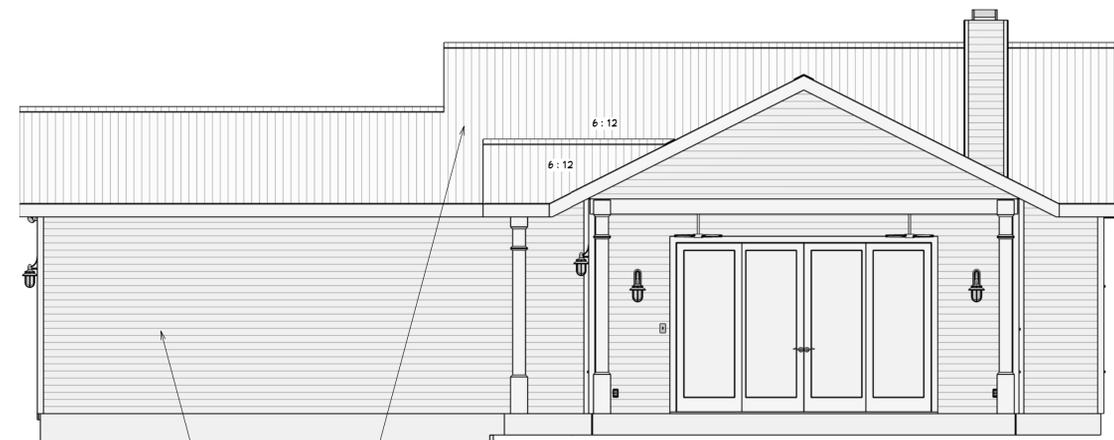
SHEET:

A-1



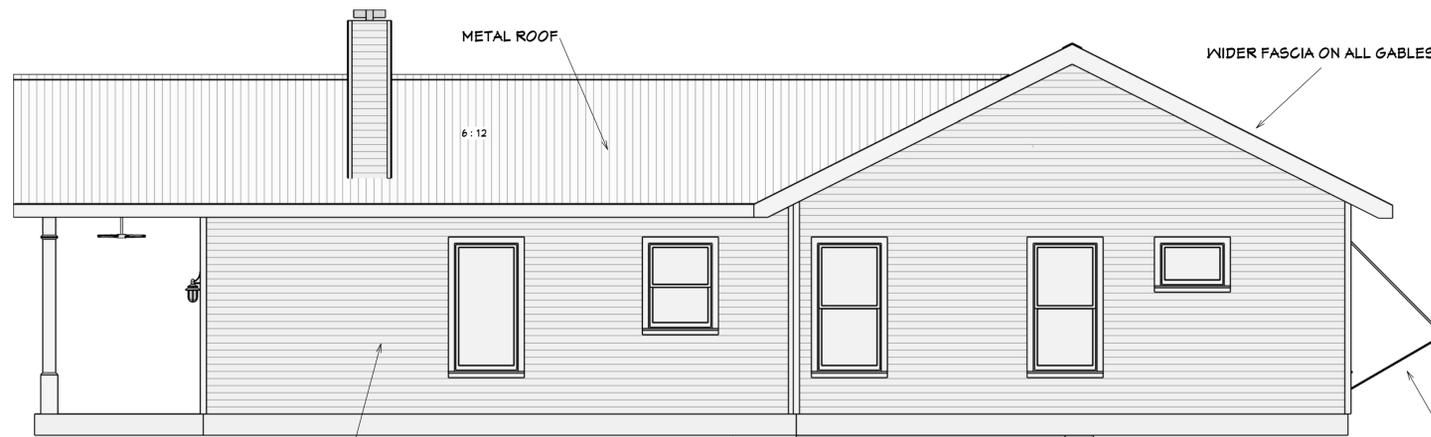
ALL SHUTTERS TO BE HINGED AT TOP AS SHOWN  
 PAINTED SIDING  
 METAL ROOF

1 FRONT ELEVATION  
 SCALE: 1/4"=1'



PAINTED SIDING  
 METAL ROOF

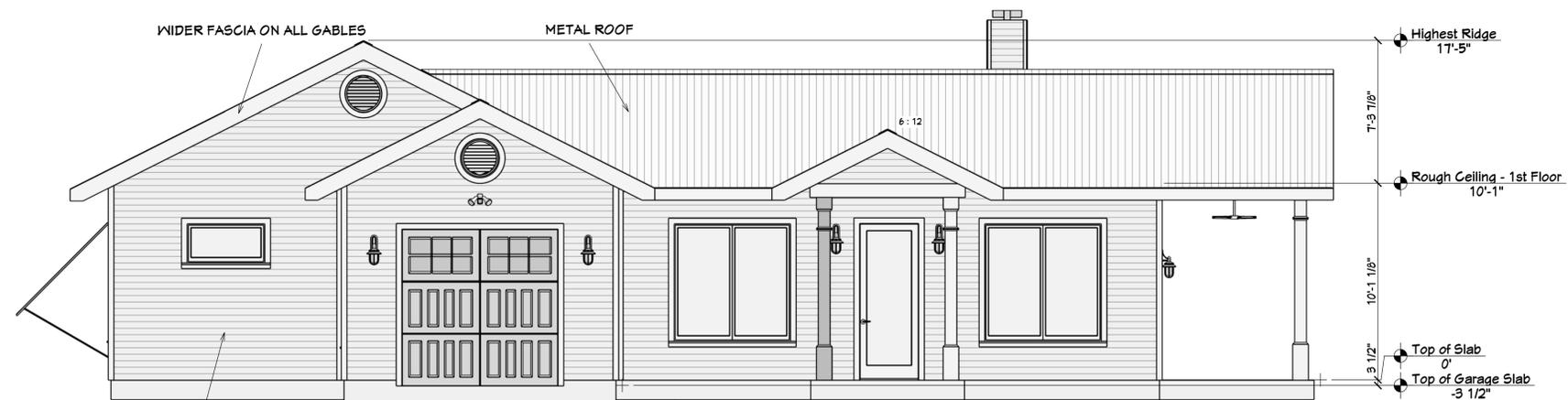
2 REAR ELEVATION  
 SCALE: 1/4"=1'



METAL ROOF  
 6:12  
 WIDER FASCIA ON ALL GABLES  
 PAINTED SIDING

3 LEFT ELEVATION  
 SCALE: 1/4"=1'

ALL SHUTTERS TO BE HINGED AT TOP AS SHOWN



WIDER FASCIA ON ALL GABLES  
 METAL ROOF  
 6:12  
 Highest Ridge 17'-5"  
 1'-9 7/8"  
 Rough Ceiling - 1st Floor 10'-1"  
 10'-1 1/8"  
 3 1/2"  
 Top of Slab 0"  
 Top of Garage Slab -3 1/2"

4 RIGHT ELEVATION  
 SCALE: 1/4"=1'

PAINTED SIDING

PLANS FOR:  
 BRENDA KENNEDY  
 RENFRO STREET  
 ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
 3704 CR 2522  
 ROYSE CITY, TEXAS 75178  
 469-558-9863

DRAWN BY:

DATE:  
 4/15/2020

SCALE:  
 AS SHOWN

SHEET:

A-3



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
611 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
613 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
615 E Boydston Avenue	Single-Family Home	2016	2,403	N/A	Stone/Siding
619 E Boydston Avenue	Single-Family Home	2017	1,172	N/A	Brick/Stucco
621 E Boydston Avenue	Single-Family Home	2017	1,906	N/A	Brick
627 E Boydston Avenue	Single-Family Home	2018	1,970	N/A	Brick
709 E Boydston Avenue	Single-Family Home	1980	1,120	1,180	Siding
506 Renfro Street	Single-Family Home	1975	1,058	284	Siding
507 Renfro Street	Single-Family Home	1961	1,856	450	Siding
601 Renfro Street	Single-Family Home	1925	1,000	720	Siding
602 Renfro Street	Single-Family Home	1975	1,796	N/A	Siding
605 Renfro Street	Single-Family Home	1975	1,605	192	Siding
606 Renfro Street	Single-Family Home	1925	1,342	N/A	Siding
607 Renfro Street	Single-Family Home	1998	1,520	N/A	Siding
619 Renfro Street	Single-Family Home	2002	1,567	N/A	Siding
701 N TL Townsend Drive	RCAD Indicates Vacant		Subject Property		N/A
703 N TL Townsend Drive	Single-Family Home	1975	934	1,092	Siding
703 E Boydston Avenue	Other	1980	N/A	N/A	N/A
707 S Clark Street	Other	N/A	N/A	N/A	N/A
Averages:		1970	1,380		



611 E Boydston Avenue



613 E Boydston Avenue



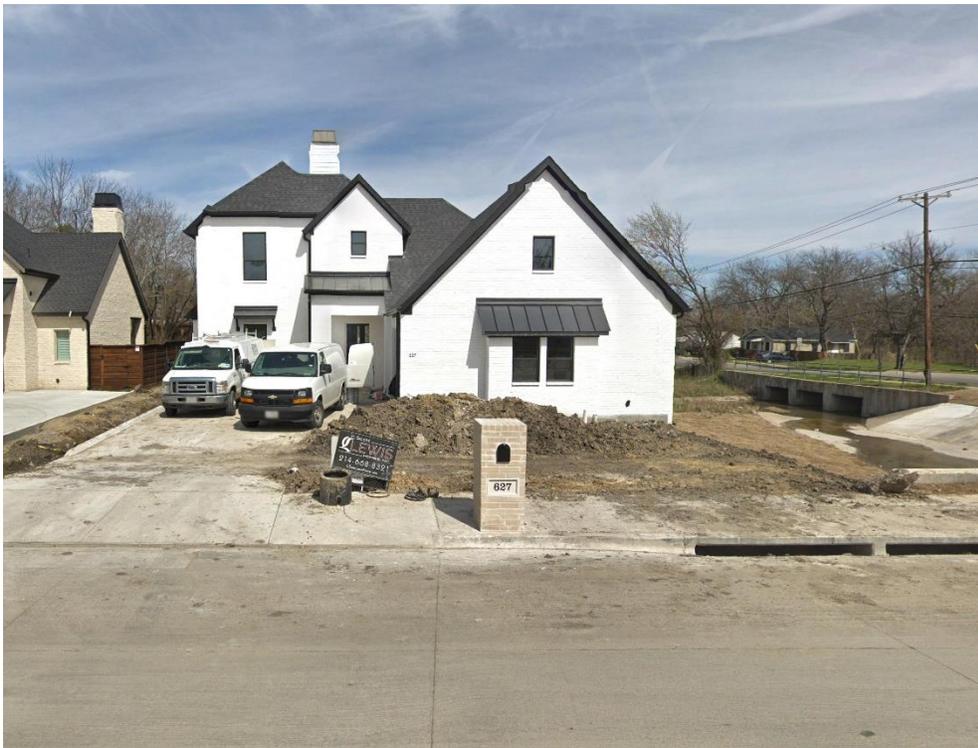
615 E Boydston Avenue



619 E Boydston Avenue



621 E Boydston Avenue



627 E Boydston Avenue



709 E Boydston Avenue



506 Renfro Street



507 Renfro Street



601 Renfro Street



602 Renfro Street



605 Renfro Street



606 Renfro Street



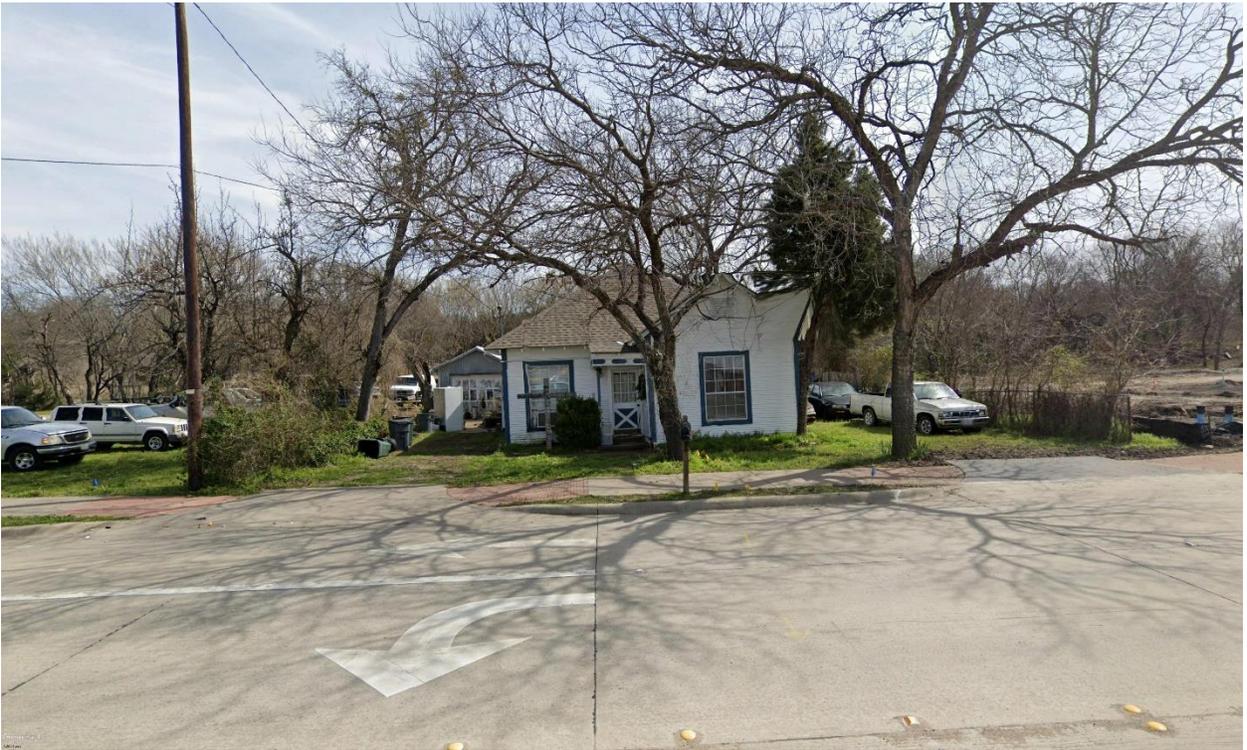
607 Renfro Street



619 Renfro Street



701 N TL Townsend Drive



703 N TL Townsend Drive



703 E Boydston Avenue



707 S Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

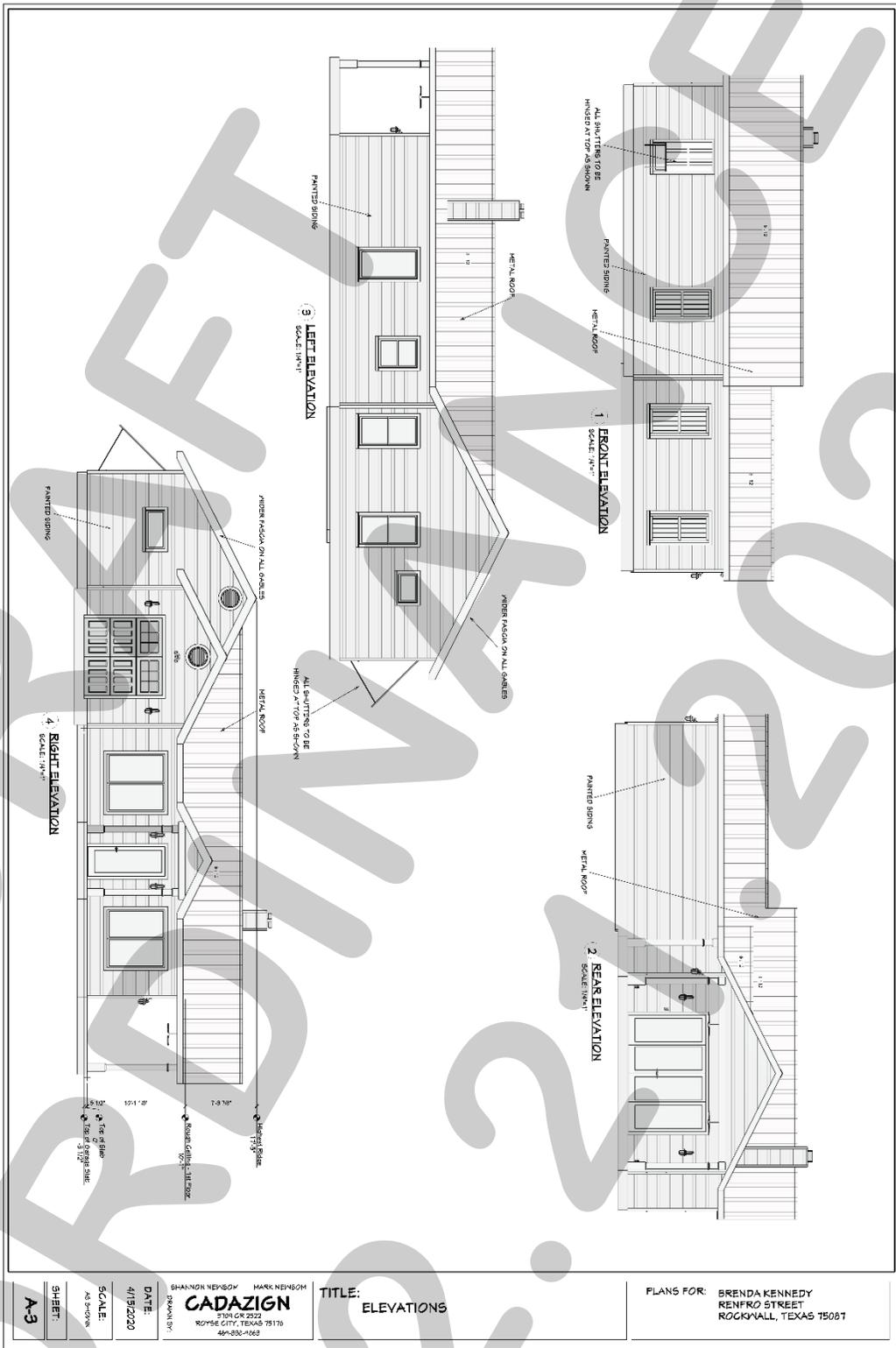
1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

Address: 701 N. Townsend Drive  
Legal Description: Lot 1, Block A, Richard Harris Subdivision #5







SHEET: A-3

DATE: 4/19/2020

SCALE: AS SHOWN

DRAWN BY: SHANNON NEWBOW

DATE: 4/19/2020

SCALE: AS SHOWN

DRAWN BY: MARK NEWBOW

DATE: 4/19/2020

SCALE: AS SHOWN

DRAWN BY: SHANNON NEWBOW

DATE: 4/19/2020

SCALE: AS SHOWN

DRAWN BY: MARK NEWBOW

DATE: 4/19/2020

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DATE: 4/19/2020

SCALE: AS SHOWN

DRAWN BY: SHANNON NEWBOW

DATE: 4/19/2020

SCALE: AS SHOWN

TITLE: ELEVATIONS

PLANS FOR: BRENDA KENNEDY  
 RENFRO STREET  
 ROCKWALL, TEXAS 75087



## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-049; SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 304 E. BOURN STREET

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### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Neighborhood Notification Email  
Property Owner Notification Map  
Property Owner Notification List  
Public Notice  
Residential Plot Plan  
Building Elevations  
Housing Analysis  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP).



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** December 21, 2020  
**APPLICANT:** Sam Hernandez  
**CASE NUMBER:** Z2020-049; *Specific Use Permit (SUP) for a Residential Infill for 304 E. Bourn Street*

---

### SUMMARY

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

### BACKGROUND

Based on the Dedication Deed for the Canup Addition and *Ordinance No. 59-02*, the subject property was annexed sometime after December 4, 1944 and before July 6, 1959. The subject property was originally platted as Lot 48 of the Canup's Subdivision on December 1, 1944. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. Between May 16, 1983 and December 7, 1993, the subject property was rezoned Single-Family 7 (SF-7) District. Based on the reviewed information the subject property has remained vacant since its annexation into the City of Rockwall.

### PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 304 E. Bourn Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Bourn Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a house of worship (*i.e. New Caldonia Baptist Church; 301 E. Bourn Street*) zoned Single-Family 7 (SF-7) District. North of this is a single-family home (*i.e. 810 Davey Crockett Street*), a duplex (*i.e. 807 & 809 Sam Houston Street*) and two (2) vacant parcels of land. All of these properties are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are two (2) homes zoned Single-Family 7 (SF-7) District. Beyond this is Emma Jane Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several single-family homes zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property are three (3) homes (*i.e. 306 & 308 E. Bourn Avenue and 902 Davey Crockett Street*) zoned Single-Family 7 (SF-7) District. Beyond this is Davy Crockett Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the

OURHometown Vision 2040 Comprehensive Plan. East of this is one (1) single-family home zoned Single-Family 7 (SF-7) District. Beyond this are three (3) tracts of land (i.e. Tracts 14, 37 & 37-2, B. J. T. Lewis Survey, Abstract No. 255) zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses.

West: Directly west of the subject property is a 0.121-acre vacant parcel of land (i.e. Lot 49 of the Canup's Subdivision) zoned Single-Family 7 (SF-7) District. Beyond this is Sam Houston Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) single-homes on four (4) parcels of land (i.e. 202, 204, 206 & 208 E. Bourn Street) zoned Single-Family 7 (SF-7) District. Beyond this are four (4) parcels of land with two (2) commercial buildings situated on them (i.e. Sonic Drive-In and Mattress Depot). These properties front on to S. Goliad Street [SH-205], and are zoned Commercial (C) District.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Canup's Subdivision, which has been in existence since December 1, 1944, consists of 51 residential lots, and is ~90.90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on E Bourn Street, Davy Crockett, Emma Jane, and Sam Houston compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Bourn Street, Davy Crockett, Emma Jane, Sam Houston and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face E. Bourn Street.
Year Built	1950-2018	N/A
Building SF on Property	928 SF – 1,974 SF	X > 1,100 SF
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 30-Feet	21'-4"
Side	Estimated between zero (0) and greater than ten (10) feet.	7'-4"
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	65'-7"
Building Materials	Brick and Siding	Stucco
Paint and Color	Red, White, Grey, Green, Yellow and Brown	White
Roofs	Composite and Asphalt Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached and located approximately 9'-10" behind of the front façade.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry

garages ...” In this case, the applicant is proposing to orient the garage in a flat front entry format putting the garage 9’-10” behind the front façade of the single-family home. If this Specific Use Permit (SUP) request is approved by the Planning and Zoning Commission and City Council, the garage setback requirement will be waived. Staff should note that other single-family homes in the neighborhood have garages that are flush or just behind the front façade of the single-family home, and that this garage orientation is not uncharacteristic of this area. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a Single-Family 7 (SF-7) District and the Southside Residential Neighborhood Overlay (SRO) District; however, staff should point out that homes in this area are primarily faced with brick and siding materials, and that no other homes in the *Southside Residential Neighborhood Overlay (SRO) District* utilize stucco (or any similar materials). While this is not an uncommon exterior building material for single-family homes in the City, the use of this material may make this particular home less compatible architecturally with other homes in this area. For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Bourn Street, Davy Crockett, Emma Jane, Sam Houston and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

### **NOTIFICATIONS**

On November 18, 2020, staff mailed 108 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Highridge Estates Homeowner’s Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC).

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-049

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 304 E. BOURN ST. ROCKWALL TX 75087

Subdivision \_\_\_\_\_ Lot 48 Block \_\_\_\_\_

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage 0.34 Lots [Current] 1 Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB316Z the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner SARA HERNANDEZ

Applicant SARA HERNANDEZ

Contact Person \_\_\_\_\_

Contact Person \_\_\_\_\_

Address 4504 HAMPSHIRE BLVD

Address 4504 HAMPSHIRE BLVD

City, State & Zip FORT WORTH, TX 76103

City, State & Zip FORT WORTH, TX 76103

Phone 310-293-0093

Phone 310-293-0093

E-Mail San-miguel14@hotmail.com

E-Mail San-miguel14@hotmail.com

## NOTARY VERIFICATION [REQUIRED]

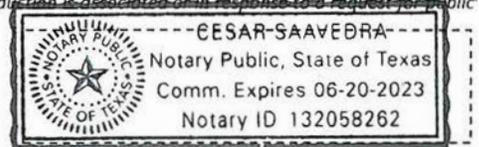
Before me, the undersigned authority, on this day personally appeared Sara Hernandez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 10 day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

Given under my hand and seal of office on this the 10 day of November, 2020.

Owner's Signature \_\_\_\_\_

Notary Public in and for the State of Texas \_\_\_\_\_



My Commission Expires 06-20-2023



Z2020-049- SUP FOR 304 E. BOURN STREET  
ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

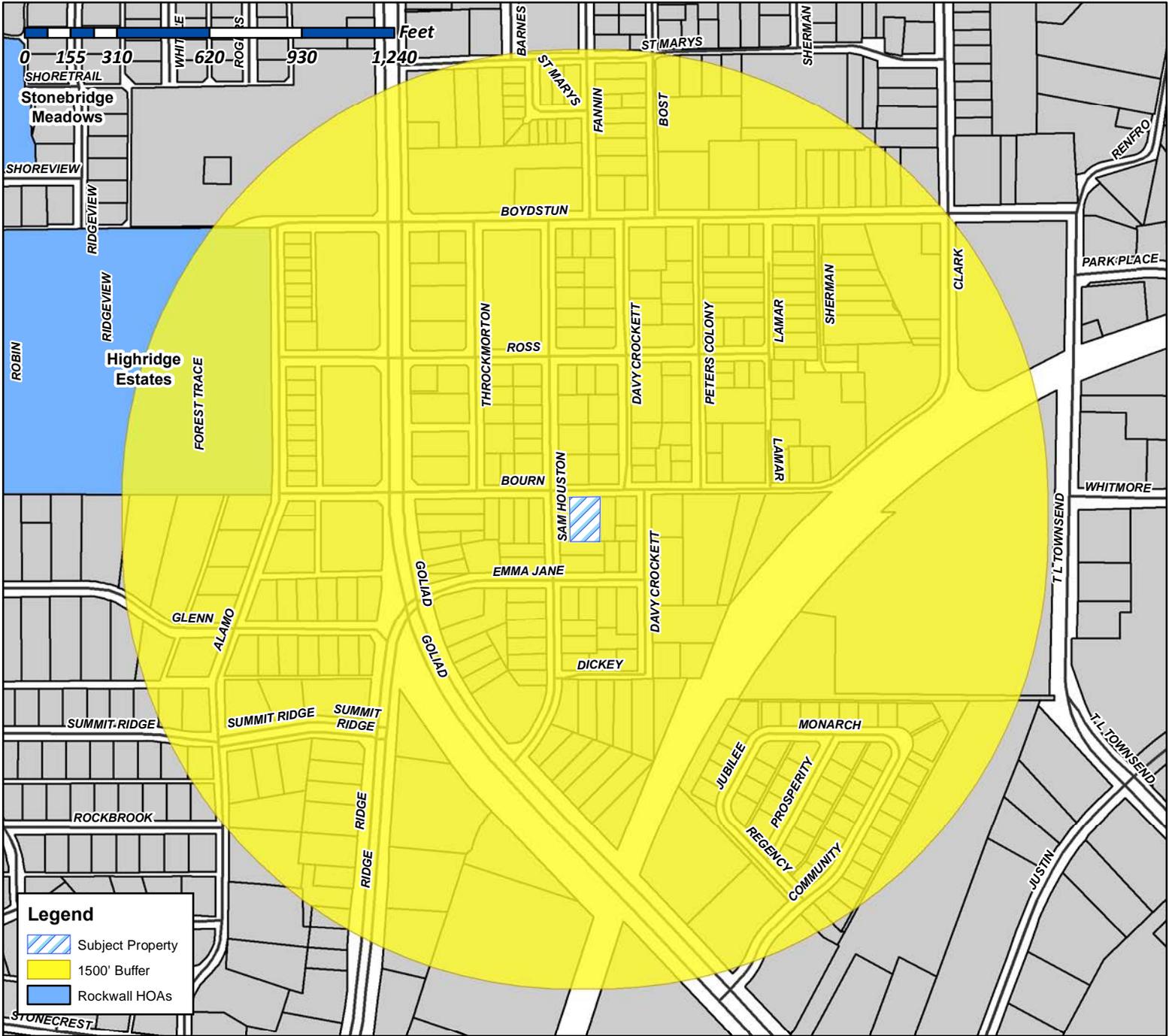




# City of Rockwall

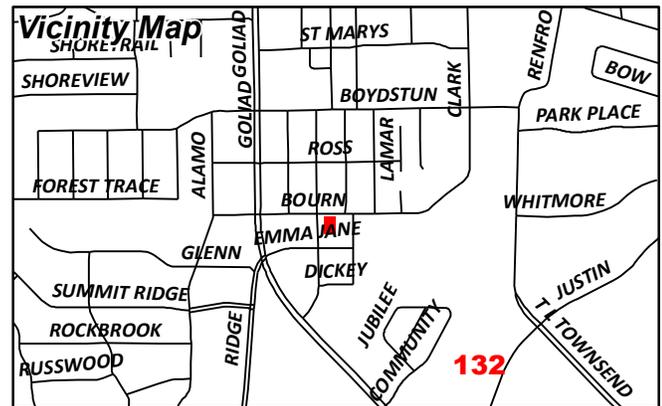
Planning & Zoning Department  
385 S. Goliad Street  
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**Case Number:** Z2020-049  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 304 E. Bourn Street

**Date Created:** 11/12/2020  
**For Questions on this Case Call** (972) 771-7745



## Lee, Henry

---

**From:** Gamez, Angelica  
**Sent:** Wednesday, November 18, 2020 2:30 PM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program  
**Attachments:** HOA Map (11.13.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2020-049 Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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# City of Rockwall

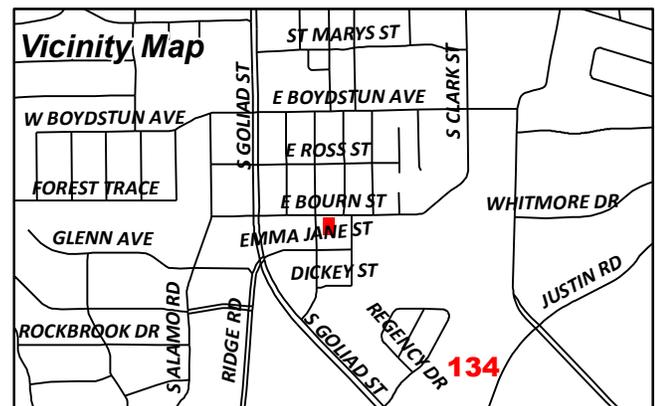
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**Case Number:** Z2020-049  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 304 E. Bourn Street

**Date Created:** 11/12/2020  
**For Questions on this Case Call** (972) 771-7745



EDWARDS JASON  
10 DANCING WATERS  
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K  
C/O SONIC  
1001 S GOLIAD ST  
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN  
1003 S GOLIAD  
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND  
MARVIN RAY BRANNON ETAL  
1005 SAM HOUSTON  
ROCKWALL, TX 75087

PRICE ALVIN  
1006 DAVY CROCKETT  
ROCKWALL, TX 75087

MALAVE BRENDA L  
1006 SAM HOUSTON ST  
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND  
MARVIN RAY BRANNON ETAL  
1007 SAM HOUSTON  
ROCKWALL, TX 75087

JONES EVELYN  
1008 DAVY CROCKETT ST  
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH  
1008 SAM HOUSTON  
ROCKWALL, TX 75087

LIVAY LLC  
1009 HOT SPRINGS DR  
ALLEN, TX 75013

CASTILLO PEDRO  
1009 SAM HOUSTON ST  
ROCKWALL, TX 75087

EFENEY WILLIAM M  
1009 S GOLIAD  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1010 SAM HOUSTON  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1012 SAM HOUSTON  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1013 S GOLIAD  
ROCKWALL, TX 75087

ROHLF DAVID E  
102 E ROSS AVE  
ROCKWALL, TX 75087

ANDERSON ALLEN  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1404 RIDGE ROAD  
ROCKWALL, TX 75087

EFENEY WILLIAM M  
1406 S LAKESHORE DR  
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE  
1500 ASHLEY CT  
ROCKWALL, TX 75032

ESTATE OF JOHN L MCGUIRE AND RUBY  
MCGUIRE  
C/O LORA MITCHELL  
1528 VERMONT AVE  
LANCASTER, TX 75134

BATRES MARIA DELL REFUGIO  
202 BOURN STREET  
ROCKWALL, TX 75087

LRG GROUP LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

MOTON R T  
203 E BOURN ST  
ROCKWALL, TX 75087

RIVERA JAIME & MARIA  
204 E BOURN ST  
ROCKWALL, TX 75087

MIMS KATHY  
206 E BOURN ST  
ROCKWALL, TX 75087

HECKARD ALLEN  
207 BOURNAVE  
ROCKWALL, TX 75087

GE QIQING AND  
JINGJING ZHANG  
207 GASPAR  
IRVINE, CA 92618

SCROGGINS BILLY & JOYCE  
208 E BOURN ST  
ROCKWALL, TX 75087

LIU HOWARD HEYUN  
208 EMMA JANE ST  
ROCKWALL, TX 75087

WAFFER JULIUS  
3002 WELDON LN  
ROYSE CITY, TX 75189

NEW CALDONIA BAPTIST CHURCH  
301 E BOURNE AVE  
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA  
302 E ROSS  
ROCKWALL, TX 75087

GE QIQING AND  
JINGJING ZHANG  
302 EMMA JANE  
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC  
304 BOURN  
ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA  
304 E ROSS AVE  
ROCKWALL, TX 75087

LIU HOWARD HEYUN  
304 EMMA JANE  
ROCKWALL, TX 75087

LRG GROUP LLC  
306 BOURN AVE  
ROCKWALL, TX 75087

JONES ARCHIE & JUANITA  
308 E BOURN ST  
ROCKWALL, TX 75087

ELLERD TERESA  
308 EMMA JANE ST  
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI  
308 STONEBRIDGE DR  
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N  
309 EMMA JANE ST  
ROCKWALL, TX 75087

JONES LENA EST  
C/O CHARLES R HUMPHREY  
310 EMMA JANE  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
313 STONEBRIDGE DR  
ROCKWALL, TX 75087

JONES LENA EST  
C/O CHARLES R HUMPHREY  
405 ER ELLIS  
ROCKWALL, TX 75087

WALTER MARY  
408 E BOURN ST  
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA  
414 E. COACHLIGHT TRAIL  
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G  
418 E BOURN ST  
ROCKWALL, TX 75087

JOBE BRYAN  
436 EMERSON DRIVE  
ROCKWALL, TX 75087

LIU HOWARD HEYUN  
4577 JAGUAR DR  
PLANO, TX 75024

HECKARD ALLEN  
4906 FREEMAN DR  
ROWLETT, TX 75088

MARTIN HELEN  
501 E BOURN ST  
ROCKWALL, TX 75087

ZELADA WILLIAM  
502 TWIN VIEW  
HEATH, TX 75032

MATHIS MICHAEL L & DEBRA L  
504 DICKEY ST  
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
504 ROSS  
ROCKWALL, TX 75087

SIMS VERNA MAE  
506 DICKEY ST  
ROCKWALL, TX 75087

RODRIGUEZ ROGELO & MARIA  
507 DICKEY ST  
ROCKWALL, TX 75087

BROWN GEORGIA  
508 DICKEY ST  
ROCKWALL, TX 75087

ZELADA WILLIAM  
510 DICKEY ST  
ROCKWALL, TX 75087

WAFFER JULIUS  
512 DICKEY ST  
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND  
JACQUELINE YVETTE JACOBS AND JEFFREY  
DWAYNE JACOBS  
5961 CONNIE LANE  
ROCKWALL, TX 75032

BRANNON ERMA LEE EST AND  
MARVIN RAY BRANNON ETAL  
6819 CLIFFWOOD DR  
DALLAS, TX 75237

HEARD RHODA MAE  
710 DAVY CROCKETT ST  
ROCKWALL, TX 75087

ALLEN ETHEL JEAN  
711 SHERMAN ST  
ROCKWALL, TX 75087

BENNETT A L EST  
C/O OLIVER LINVELL  
712 PETERS COLONY  
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH  
7903 FERGUSON RD  
DALLAS, TX 75228

ESTATE OF FRANKIE MAE ALLEN  
80 THROCKMORTON  
ROCKWALL, TX 75087

ESTATE OF JOHN L MCGUIRE AND RUBY  
MCGUIRE  
C/O LORA MITCHELL  
800 SAM HOUSTON  
ROCKWALL, TX 75087

LAFAYETTE ESTELLE  
801 THROCKMORTON ST  
ROCKWALL, TX 75087

JACKSON CALVIN  
802 SAM HOUSTON ST  
ROCKWALL, TX 75087

DANIELS ANNIE L  
803 THROCKMORTON ST  
ROCKWALL, TX 75087

DIXON ALMA  
804 SAM HOUSTON ST  
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST  
EPISCOPAL CHURCH  
805 PETERS COLONY  
ROCKWALL, TX 75087

ALLEN ETHEL JEAN  
805 SAM HOUSTON  
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN  
805 THROCKMORTON  
ROCKWALL, TX 75087

PROGRESS DALLAS LLC  
806 SAM HOUSTON ST  
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD  
807 THROCKMORTON  
ROCKWALL, TX 75087

JONES MICHAEL G  
808 SAM HOUSTON  
ROCKWALL, TX 75087

JOHNSON MELDRIA  
809 DAVY CROCKETT  
ROCKWALL, TX 75087

LIVAY LLC  
809 S GOLIAD  
ROCKWALL, TX 75087

U S HOUSING AUTHORITY  
809 SAM HOUSTON  
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA  
810 DAVY CROCKETT ST  
ROCKWALL, TX 75087

BARRON BLAKELEIGH  
811 DAVY CROCKETT ST  
ROCKWALL, TX 75087

EDWARDS JASON  
811SGOLIAD  
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI  
812 PETERS COLONY  
ROCKWALL, TX 75087

HALL WILLA O  
815 DAVY CROCKETT ST  
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA  
815 THROCKMORTON ST  
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE  
900 DAVY CROCKETT  
ROCKWALL, TX 75087

HENRY PATRICK AND JOLENE C  
901 DAVY CROCKETT ST  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
901 S GOLIAD  
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC  
902 DAVY CROCKETT  
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN  
902 LAKE MEADOWS DR  
ROCKWALL, TX 75087

JOBE BRYAN  
903 DAVY CROCKETT  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
903 S GOLIAD  
ROCKWALL, TX 75087

DIXON MARSHALL WADE  
905 SAM HOUSTON  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
905 S GOLIAD  
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO  
906 SAM HOUSTON  
ROCKWALL, TX 75087

ANDERSON ALLEN  
907 SAM HOUSTON  
ROCKWALL, TX 75087

STATE OF TEXAS  
907 S GOLIAD  
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST  
ROMAN FRANCISCO CANALES & ROSA MARIA  
ZAMORA MIRANDA-TRUSTEE  
P O BOX 291  
FATE, TX 75132

PAIGE RYAN PROPERTIES LLC  
P. O. BOX 853  
WYLIE, TX 75098

PRICE ALVIN  
P.O. BOX 196  
ROCKWALL, TX 75087

ROHLF DAVID E  
PO BOX 1137  
ROCKWALL, TX 75087

PROGRESS DALLAS LLC  
PO BOX 4090  
SCOTTSDALE, AZ 85261

NEW CALDONIA BAPTIST CHURCH  
PO BOX 481  
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC  
PO BOX 8333  
GREENVILLE, TX 75404

D&A REAL ESTATE PARTNERS LTD  
PO BOX 850  
ROCKWALL, TX 75087

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-049: Specific Use Permit for Residential Infill**

*Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-049: Specific Use Permit for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

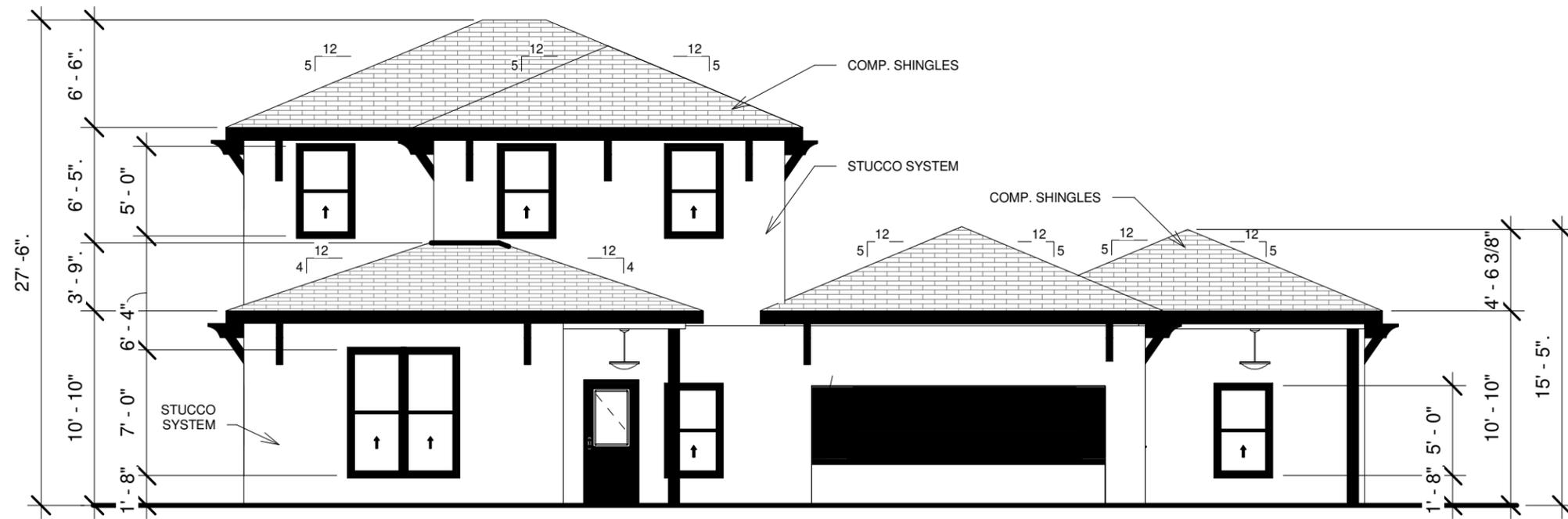
Name:

Address:

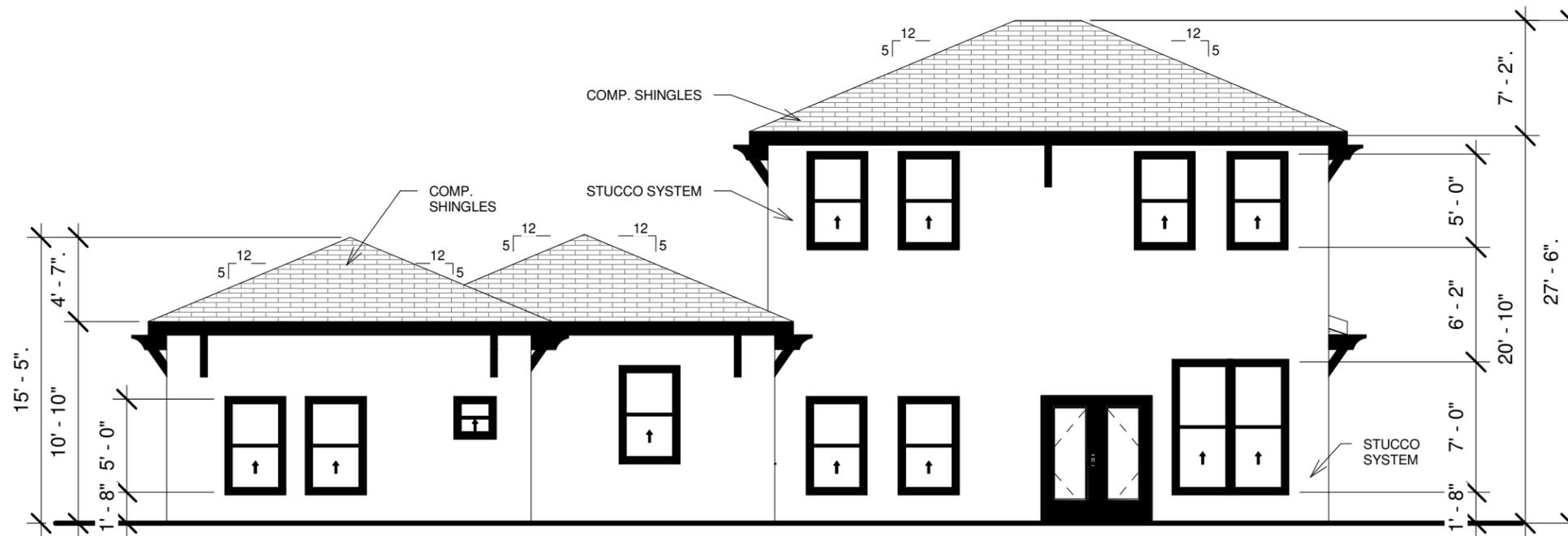
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





① FRONT  
1/8" = 1'-0"



② BACK  
1/8" = 1'-0"



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
202 E Bourn Street	Single-Family Home	1987	1,508	100	Siding
203 E Bourn Street	Single-Family Home	1960	1,320	60	Brick/Wood Siding
204 E Bourn Street	Single-Family Home	1970	1,305	144	Brick
206 E Bourn Street	Single-Family Home	1996	1,300	N/A	Brick
207 E Bourn Street	Single-Family Home	1995	1,525	N/A	Brick
208 E Bourn Street	Single-Family Home	2003	1,680	160	Siding
301 E Bourn Street	House of Worship	-	3,578	N/A	Siding
304 E Bourn Street	RCAD Indicates Vacant		Subject Property		
306 E Bourn Street	Single-Family Home	1962	1,040	N/A	
308 E Bourn Street	Single-Family Home	1979	1,044	N/A	Siding
403 E Bourn Street	Multi-Family Home	2007	1,499	120	Siding
408 E Bourn Street	Single-Family Home	1998	1,130	180	Brick
501 E Bourn Street	Single-Family Home	1975	1,226	N/A	Siding
810 Davy Crockett	Single-Family Home	2003	1,732	284	Brick
811 Davy Crockett	Single-Family Home	1998	1,095	N/A	Brick
815 Davy Crockett	Single-Family Home	1998	1,150	N/A	Brick
902 Davy Crockett	Single-Family Home	1950	1,000	N/A	Siding
302 Emma Jane	Single-Family Home	2018	1,843	N/A	Brick
304 Emma Jane	Single-Family Home	2018	1,843	N/A	Brick
308 Emma Jane	Single-Family Home	2004	1,543	244	Brick
310 Emma Jane	Single-Family Home	1975	1,056	N/A	Siding
806 Sam Houston	Single-Family Home	2017	1,547	N/A	Brick
807 Sam Houston	Multi-Family Home	1969	1,200	N/A	Brick
808 Sam Houston	Single-Family Home	2015	1,154	N/A	Brick
905 Sam Houston	RCAD Indicates Vacant	-	-	-	Siding
906 Sam Houston	Single-Family Home	2004	1,974	N/A	Brick/Siding
907 Sam Houston	Single-Family Home	1997	928	240	Siding

Averages: 1992 1,449 170



202 E Bourn Street



203 E Bourn Street



204 E Bourn Street



206 E Bourn Street



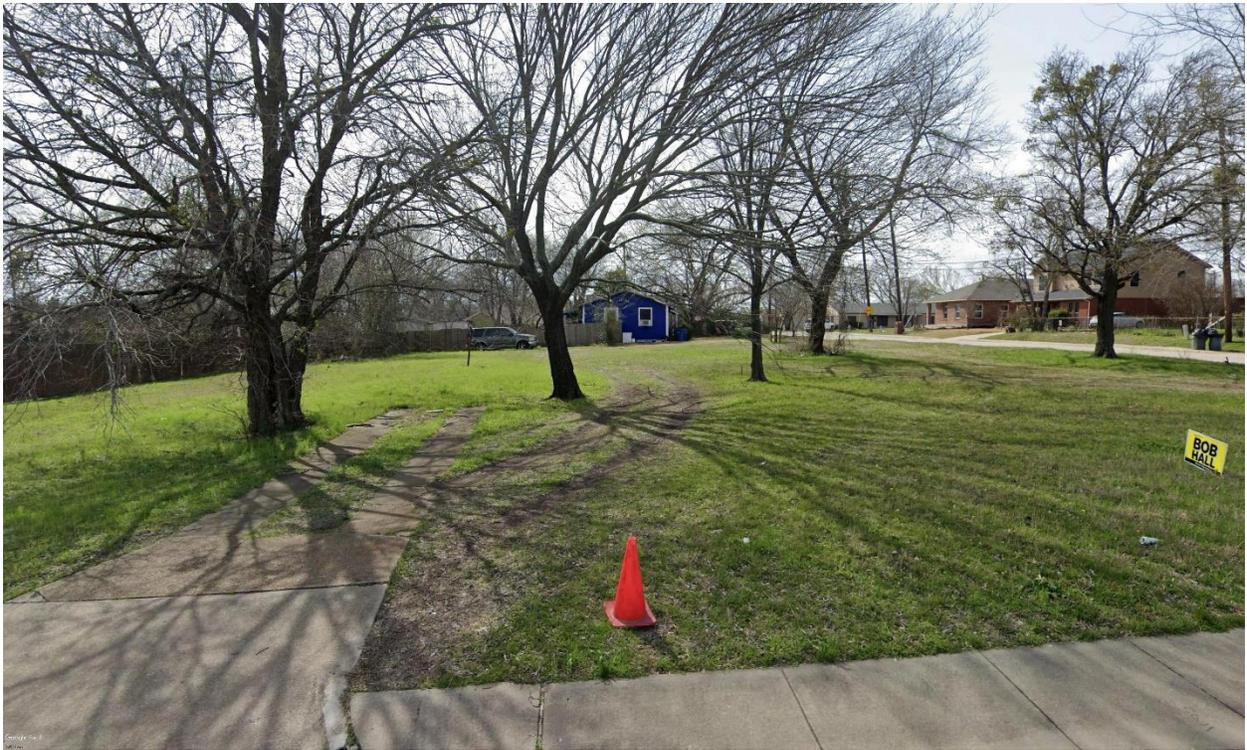
207 E Bourn Street



208 Bourn Street



301 E Bourn Street



304 E Bourn Street



306 E Bourn Street



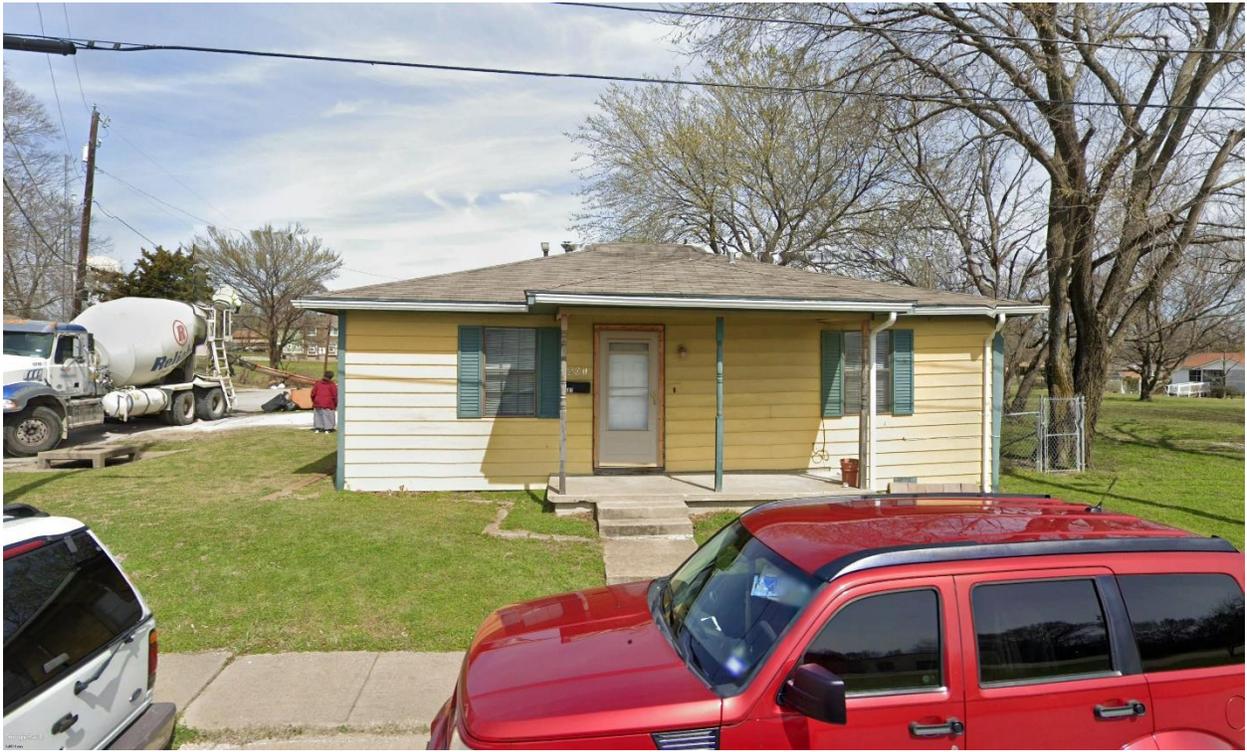
308 E Bourn Street



403 E Bourn Street



408 E Bourn Street



501 E Bourn Street



810 Davy Crockett



811 Davy Crockett



815 Davy Crockett



902 Davy Crockett



302 Emma Jane



304 Emma Jane



308 Emma Jane



310 Emma Jane



806 Sam Houston



807 Sam Houston



808 Sam Houston



905 Sam Houston



906 Sam Houston



907 Sam Houston

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2342-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 48, CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.2342-acre parcel of land being described as Lot 48, Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential (SRO) Overlay, addressed as 304 E. Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and the Southside Overlay District of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [*Ordinance No. 20-02*] and to the requirements set forth in the Southside Overlay District - as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

DRAFT  
ORDINANCE  
12.21.2020

Address: 304 E. Bourn Street  
Legal Description: Lot 48, Canup Addition



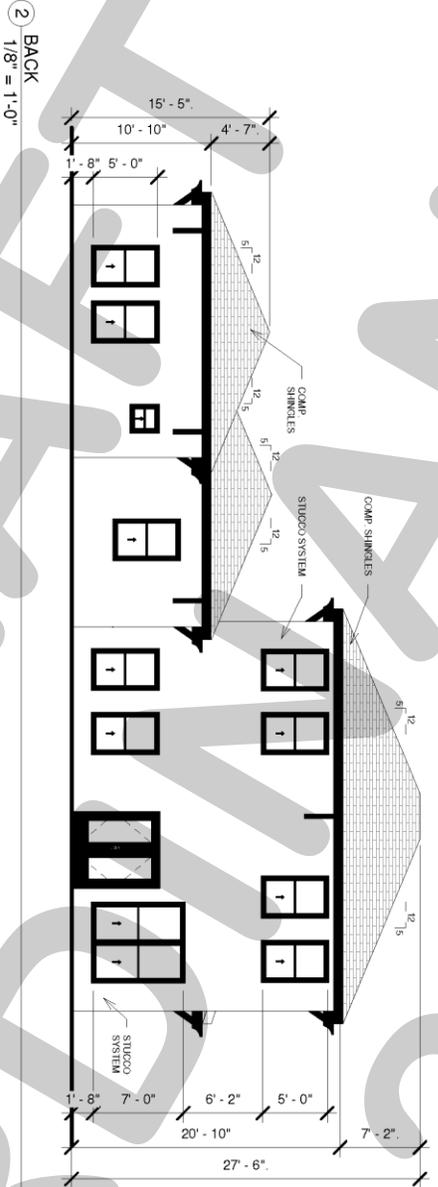
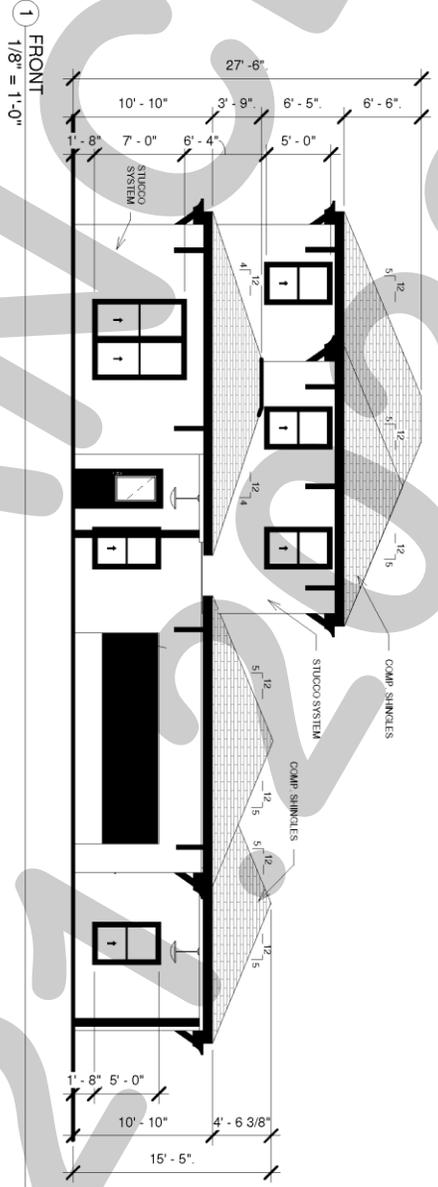




304 E BOURN ST. ROCKWALL TX 75087

ELEVATIONS

Date	11.12.2020
Scale	1/8" = 1'-0"
	01

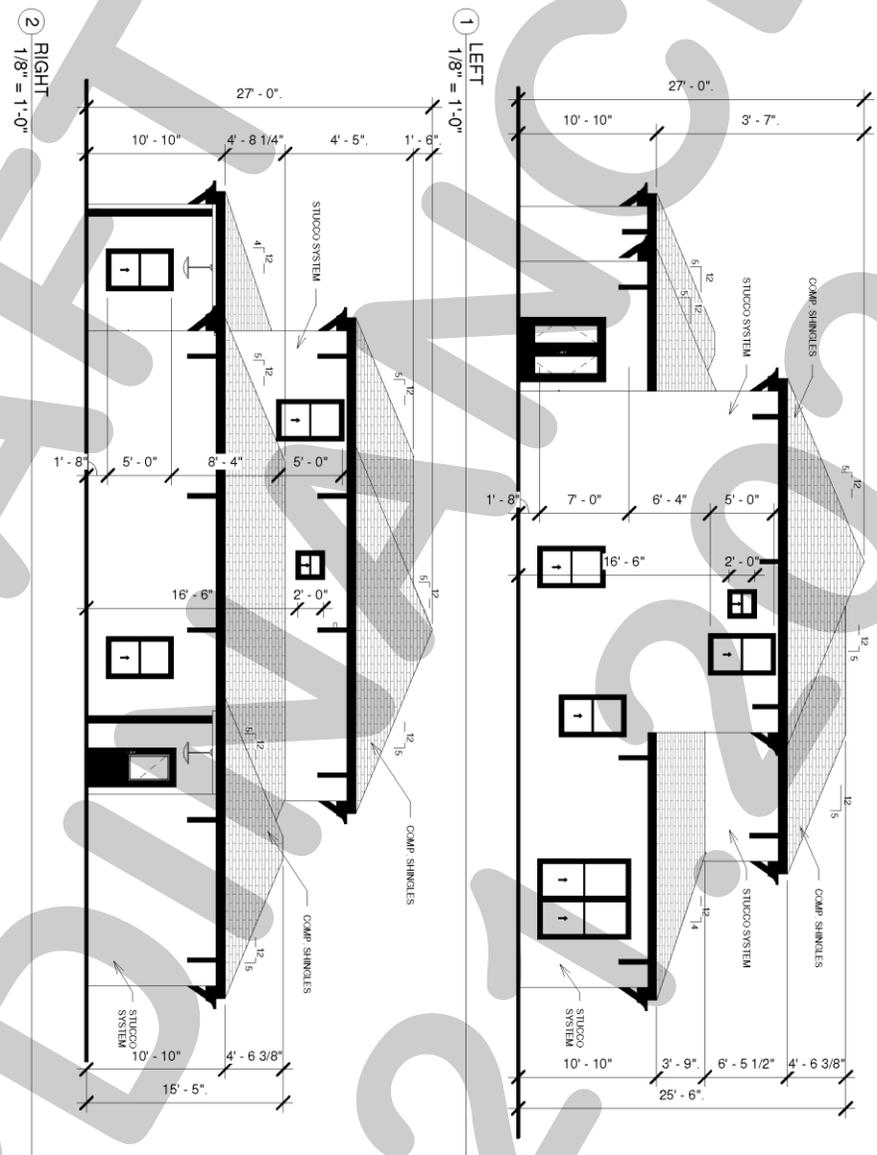




304 E BOURN ST. ROCKWALL TX 75087

ELEVATIONS

Date 11.12.2020 Scale 1/8" = 1'-0" 02





## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-050; SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 501 S. CLARK STREET

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### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Neighborhood Notification Email  
Property Owner Notification Map  
Property Owner Notification List  
Public Notice  
Property Owner Notification  
Residential Plot Plan  
Building Elevations  
Housing Analysis  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP).



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** December 21, 2020  
**APPLICANT:** Perry Bowen  
**CASE NUMBER:** Z2020-050; *Specific Use Permit (SUP) for a Residential Infill for 501 S. Clark Street*

---

### SUMMARY

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. At some point after August 25, 1934 the subject property was platted as Lot A, Block 107, B. F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. At some point after the property was platted an approximately 1,850 SF home was constructed on the subject property. On November 18, 2020 the City Council approved a replat of the subject property establishing Lot 1, Block A, Haley & Kyle Addition [Case No. P2019-040].

### PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 501 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e. Lots 1 & 2, Block 1, Clark Street Homesite and Lots 1 & 2, Block 1, Shaw Addition*), two (2) of which are vacant. These properties are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is one (1) vacant parcel of land (*i.e. Lot 2, Block A, Haley & Kyle Addition*) and one (1) parcel of land with a single-family home situated on it (*i.e. Lot 107 of the B. F. Boydston Addition*). The properties are both zoned Single-Family 7 (SF-7) District. Beyond this are eight (8) single-family homes (*i.e. Lots 1-7 & 6A of the Harris Addition*) zoned Two-Family (2F) District.

East: Directly east of the subject property is a 3.983-acre tract of land (*i.e. Tract 34-1 of the R. Ballard Survey, Abstract No. 29*) zoned Single-Family 7 (SF-7) District. Also, east of the subject property is a 1.792-acre vacant parcel of

land (i.e. Tract 44-01 of the R. Ballard Survey, Abstract No. 29) zoned Single-Family 7 (SF-7) District. Beyond this are two (2) tracts of land (i.e. Tracts 18 & 18-1 of the R. Ballard Survey, Abstract No. 29) and one (1) parcel of land (i.e. Lot 1, Block A, Blue Sky Subdivision) zoned Single-Family 7 (SF-7) District. East of this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family homes on six (6) tracts of land composed of multiple lots within the Mill Co. Subdivision. These properties are zoned Single-Family 7 (SF-7) District. Beyond this is Sherman Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

### **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the B. F. Boydston Addition and within 500-feet of the Mill Co. and Richard Harris #2 Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	4,394 SF (3,102 SF air-conditioned)
Building Architecture	Single Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	50-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	5.67-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	170-Feet
Building Materials	Brick and Siding	HardiBoard Siding
Paint and Color	Red, White, Grey, Green, Blue and Brown	White
Roofs	Composite and Asphalt Shingles	Composite Shingle & Metal ( <i>Secondary Elements</i> )
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached and located an estimated 15-feet in front of the front façade of the single-family home.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage approximately 15-feet in front the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that other single-family homes in the neighborhood have a garage flush or just behind the front façade of the single-family home, and that this garage orientation is not uncharacteristic of the neighborhood. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On November 18, 2020, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had received one (1) notice in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-050

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 501 S. Clark St. Rockwall, TX 75087

Subdivision \_\_\_\_\_ Lot 1 Block A

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Kyle Bryan

Applicant Perry Bowen

Contact Person Perry Bowen

Contact Person Perry Bower

Address 230 Myers Rd

Address 230 Myers Rd

City, State & Zip Heath, TX 75032

City, State & Zip Heath, TX 75032

Phone 972-771-0986

Phone 409-446-5339

E-Mail pbowenhomes@sbccglobal.net

E-Mail pbowenhomes@sbccglobal.net

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Kyle Bryan [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

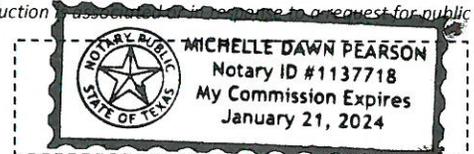
Given under my hand and seal of office on this the 13th day of November, 20 20.

Owner's Signature

Kyle Bryan

Notary Public in and for the State of Texas

Michelle Dawn Pearson



My Commission Expires

1/24/2024

0 25 50 100 150 200 Feet

Z2020-050- SUP FOR 501 S. CLARK  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

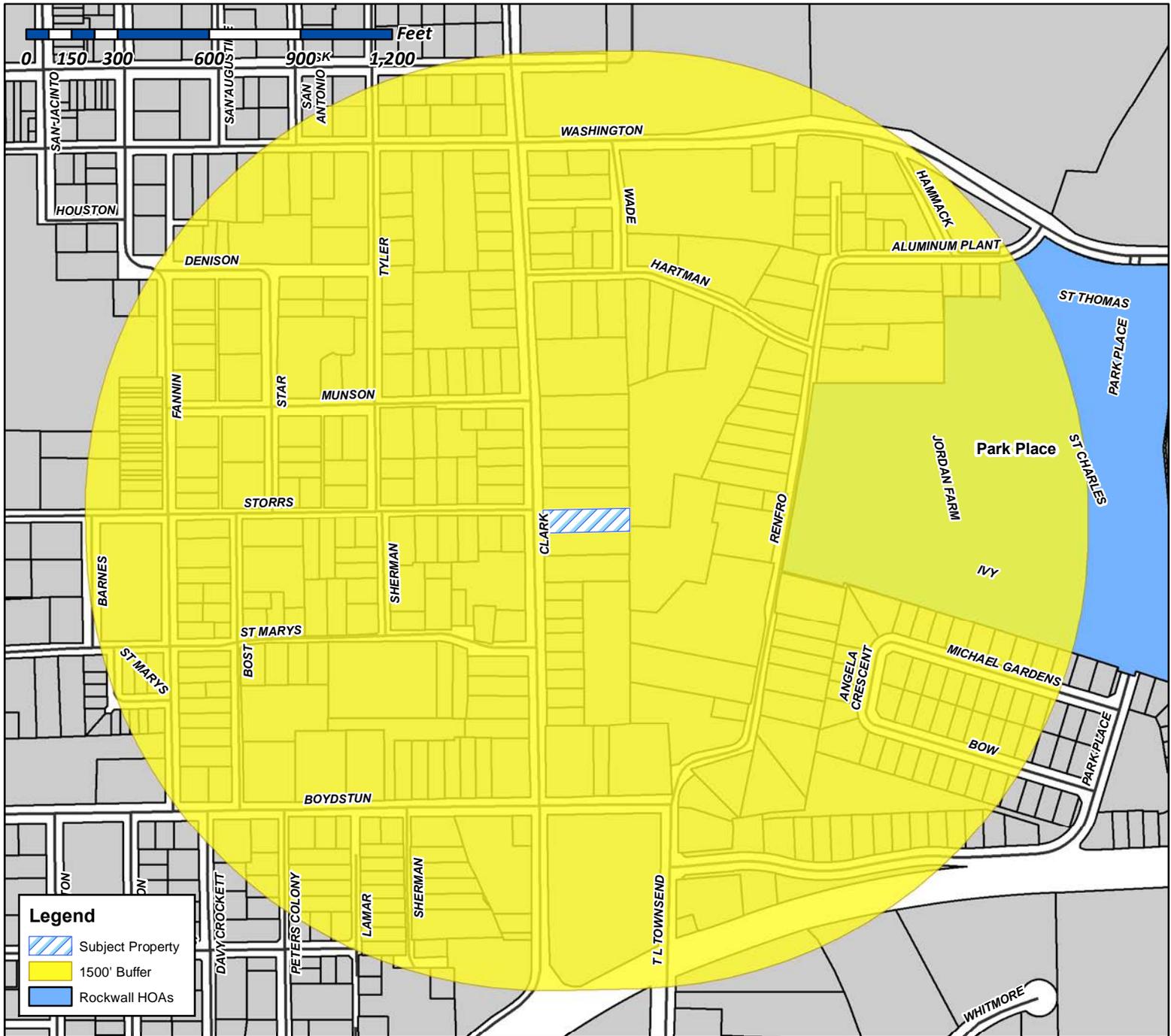




# City of Rockwall

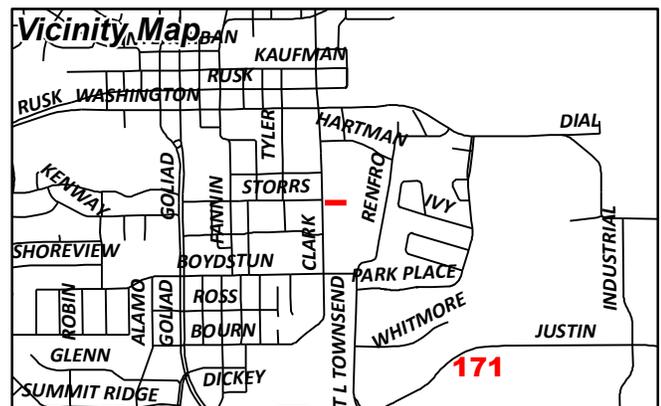
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2020-050  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 501 S. Clark Street

**Date Created:** 11/12/2020  
**For Questions on this Case Call** (972) 771-7745



## Lee, Henry

---

**From:** Gamez, Angelica  
**Sent:** Wednesday, November 18, 2020 2:30 PM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program  
**Attachments:** HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2020-050 Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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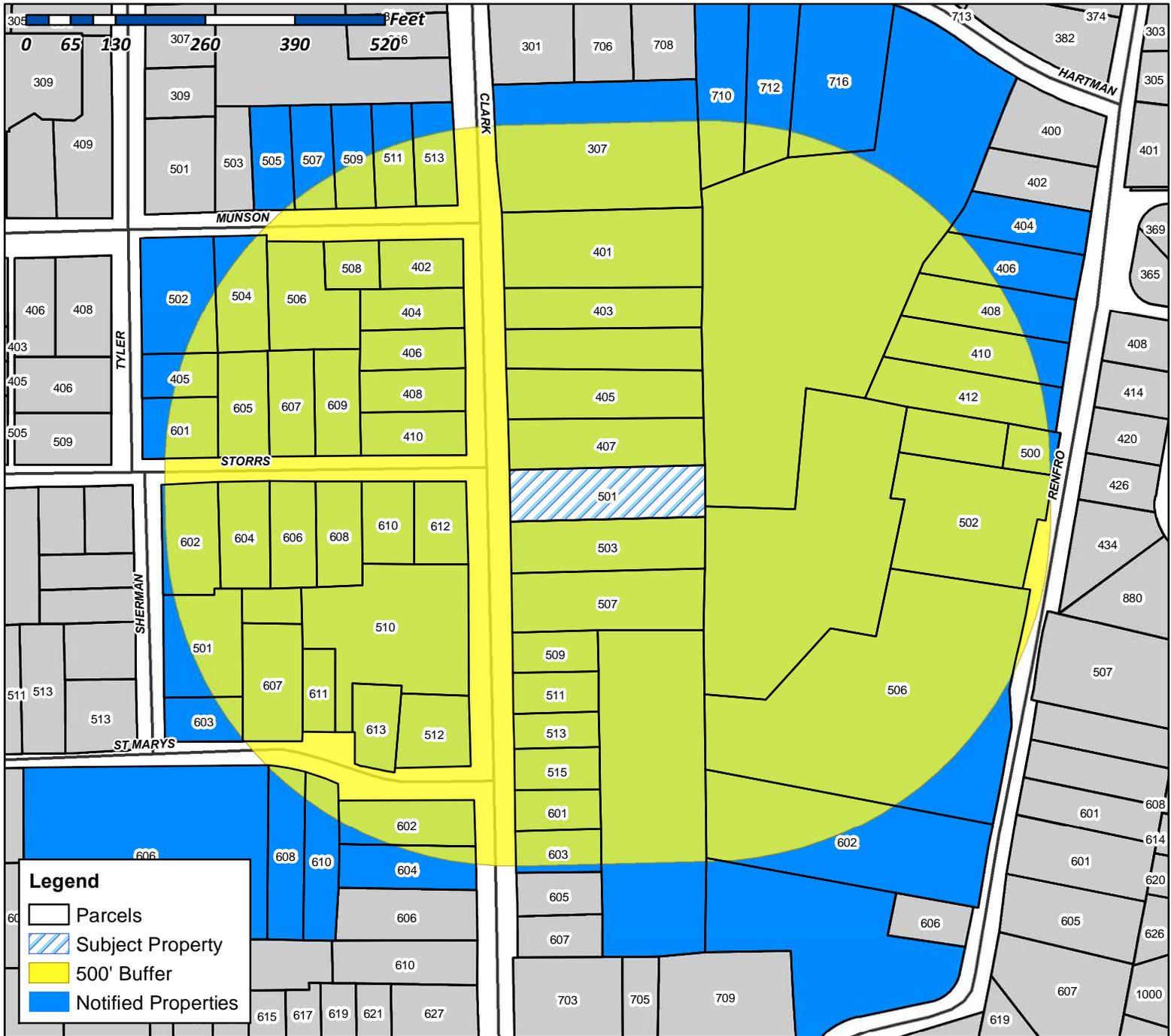
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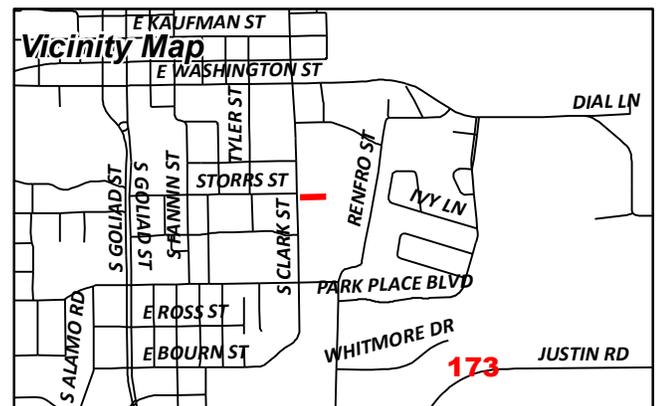
# City of Rockwall

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**Case Number:** Z2020-050  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 501 S. Clark Street



**Date Created:** 11/12/2020  
**For Questions on this Case Call** (972) 771-7745

MCCALLUM DARRELL  
1 SOAPBERRY LN  
ROCKWALL, TX 75087

ANGEL NADA  
11014 ITASCA DR  
DALLAS, TX 75228

BOREN TERRY L ETUX  
113 S BERNICE DR  
GARLAND, TX 75042

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

GADDIS DANNY E  
12922 EPPS FIELD RD  
FARMERS BRANCH, TX 75234

TUTTLE LEON ETUX  
1408 DHAKA DR  
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
602 S CLARK  
143 STONELEIGH DRIVE  
HEATH, TX 75032

LOWREY DAVID D  
2070 PONTCHARTRAIN  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
215 GRIFFIN AVENUE  
FATE, TX 75189

MUNSON PARTNERS 1 LLC  
2241 AUBURN AVE  
DALLAS, TX 75214

BOWEN CHASE AND  
PERRY BOWEN  
230 MYERS ROAD  
HEATH, TX 75032

GLASS JO KAY HARRIS  
301 MEADOWDALE  
ROCKWALL, TX 75087

SPROUL DAVID D JR AND TRISH IRELAND  
307 S CLARK ST  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
315 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

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315 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE  
3299 ROCHELLE RD  
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE  
401 E KAUFMAN ST  
ROCKWALL, TX 75087

PITTMAN MICHAEL J & JANIS A  
401 S CLARK ST  
ROCKWALL, TX 75087

PANTOJA ANGEL & DENESYN FIGUEROA  
402 S CLARK STREET  
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS  
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ROCKWALL, TX 75087

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RICHARD AND JUDY HARRIS- TRUSTEES  
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ROCKWALL, TX 75087

TUTTLE LEON ETUX  
404 S CLARK ST  
ROCKWALL, TX 75087

LIVINGSTON JUSTIN R & BROOKE D  
405 S CLARK ST  
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA  
405 TYLER ST  
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TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
406 RENFROST  
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SOLID ROCK HOLDINGS LLC  
406 S CLARK ST  
ROCKWALL, TX 75087

BOWEN CHASE AND  
PERRY BOWEN  
407 S CLARK ST  
ROCKWALL, TX 75087

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TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
408 RENFROST  
ROCKWALL, TX 75087

BOSS MORRIS E AND  
DEBRA K BOSS  
408 RIDGEVIEW  
ROCKWALL, TX 75087

GADDIS CAMILLE D  
408 SOUTH CLARK STREET  
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SIMS CHRIS AND TERESA  
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RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
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ROCKWALL, TX 75087

STARK ROBERT CLAYTON  
501 SHERMANST  
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE  
501SCLARK  
ROCKWALL, TX 75087

HOLLAND TRENTON A AND  
ROD HOLLAND  
502 MUNSON STREET  
ROCKWALL, TX 75087

SAMPLES ELVA NELL  
502 RENFRO ST  
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE  
503 S CLARK  
ROCKWALL, TX 75087

EARNHEART JOHN L  
504 MUNSON ST  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
505 MUNSONST  
ROCKWALL, TX 75087

EARNHEART JOHN L  
506 MUNSON ST  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
506 RENFRO ST  
ROCKWALL, TX 75087

WYCKOFF MICHELE M  
507 MUNSON ST  
ROCKWALL, TX 75087

LECOUR DAVID & RENEE  
507 S CLARK ST  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
508 MUNSON ST  
ROCKWALL, TX 75087

AUBE JEAN-PAUL III  
509 MUNSON ST  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
509 S CLARK ST  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
510 S CLARK  
ROCKWALL, TX 75087

FLORES JAMES AND  
PATRICIA ORR FLORES  
511 MUNSON ST  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
511 S CLARK ST  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
512 S CLARK  
ROCKWALL, TX 75087

BOREN TERRY L ETUX  
513 MUNSON ST  
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND  
NORMA L CRUZ HERNANDEZ  
513 S CLARK ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
515 S CLARK ST  
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA  
601 STORRS ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
601 S CLARK ST  
ROCKWALL, TX 75087

HOGUE CAROLYN SUE  
602 RENFRO  
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W  
602 STORRS STREET  
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
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602 S CLARK ST  
ROCKWALL, TX 75087

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603 ST MARYS ST  
ROCKWALL, TX 75087

RIVERA SARA ELIA  
603 S CLARK ST  
ROCKWALL, TX 75087

JONES PEGGY  
604 STORRS ST  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
604 S CLARK ST  
ROCKWALL, TX 75087

DAVIS JIMMY JACK  
605 STORRS ST  
ROCKWALL, TX 75087

WILKERSON CLAUDE JR  
606 SAINT MARY ST  
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D  
606 STORRS STREET  
ROCKWALL, TX 75087

STARK ROBERT SCOTT  
607 SAINT MARY ST  
ROCKWALL, TX 75087

HALDEMAN MICHAEL  
607 STORRS ST  
ROCKWALL, TX 75087

BOSS MORRIS E AND  
DEBRA K BOSS  
608 ST MARYSST  
ROCKWALL, TX 75087

LOWREY DAVID D  
608 STORRS ST  
ROCKWALL, TX 75087

GADDIS DANNY E  
609 STORRS ST  
ROCKWALL, TX 75087

FARRELL KIMBERLY A  
610 SAINT MARY ST  
ROCKWALL, TX 75087

JOHNSTON SHERRI A  
610 STORRS ST  
ROCKWALL, TX 75087

H & M TOOL AND DIE CO  
611 SAINT MARY ST  
ROCKWALL, TX 75087

ANGEL NADA  
612 STORRS ST  
ROCKWALL, TX 75087

MCCALLUM DARRELL  
613 ST MARYS PL  
ROCKWALL, TX 75087

STARK ROBERT CLAYTON  
710 AGAPE ST  
ROCKWALL, TX 75087

RENDON MARCELINO J JR  
710 HARTMAN ST  
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN  
712 HARTMAN ST  
ROCKWALL, TX 75087

HOOVER LINDA WEST-  
716 HARTMAN STREET  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
880 IVY LANE  
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC  
904 CAMPTON CT  
ROCKWALL, TX 75032

FLORES JAMES AND  
PATRICIA ORR FLORES  
PO BOX 237  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
PO BOX 2437  
ROCKWALL, TX 75087

AUBE JEAN-PAUL III  
PO BOX 868  
ROCKWALL, TX 75087

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-050: Specific Use Permit for Residential Infill**

*Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-050: Specific Use Permit for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

**Case No. Z2020-050: Specific Use Permit for Residential Infill**

Please place a check mark on the appropriate line below:

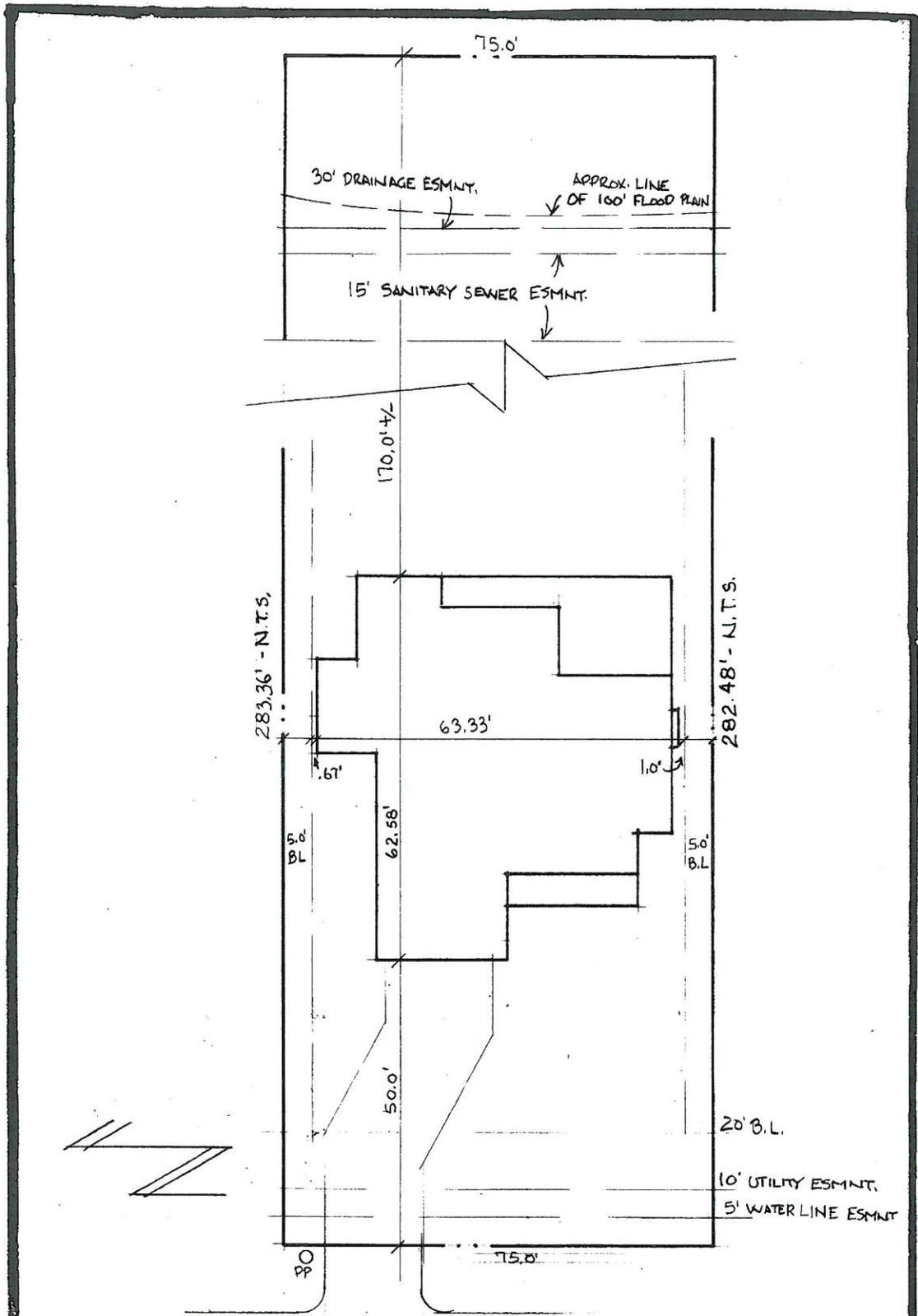
- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

Not opposed to a new house going in at this location.

Name: Sherri Johnston  
Address: 610 Starrs Street, Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



08-2020

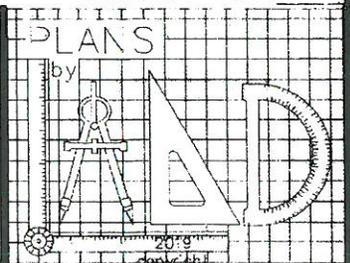
SCALE 1" = 20.0'

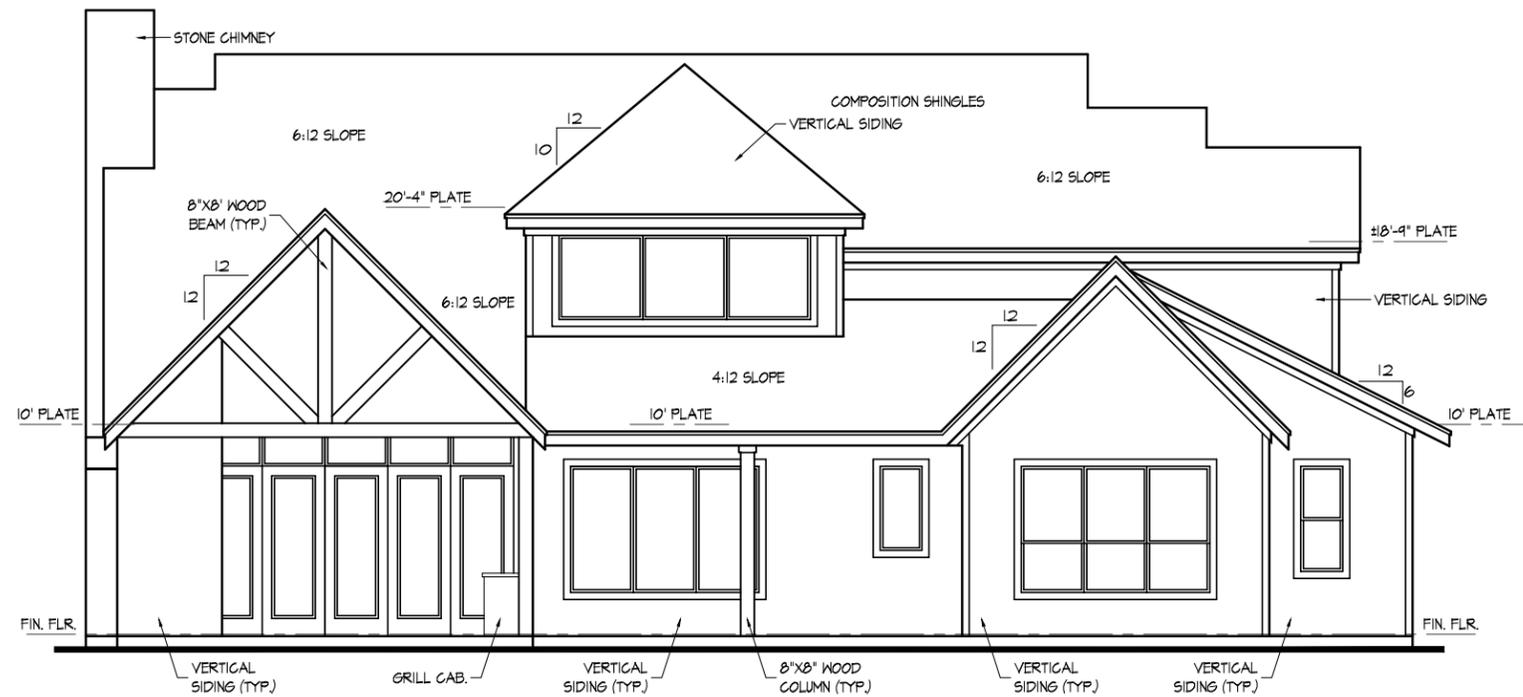
The **BRYAN** Residence  
 HALEY + KYLE Addition  
 LOT: 1 BLK A  
 501 S. CLARK ST.  
 ROCKWALL, TX

**MICHAEL V. LAND**

RICHARDSON TX. 75080  
 PHONE: 972.250.2005

EMAIL: plansbyland@att.net





**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

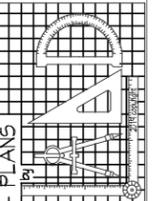
PLANS

MICHAEL V. LAND  
 EMAIL: planningland@gmail.com  
 N. COLLINS BLVD  
 ROCKWALL, TX 75080  
 PHONE: 972.280.0200  
 FAX: 972.280.0205

THE BRYAN RESIDENCE  
 501 S. Clark St.  
 Rockwall, TX.

THESE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION TO THE BUILDER. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. THE ARCHITECT DOES NOT SCALE THESE DRAWINGS. THE ARCHITECT RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE OBTAINED BY THE BUILDER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE EXCEED PRICE PAID FOR THE PLANS.

PLAN NO.	3102
DATE	7-20-20
REVISION DATES	8-12-20



MICHAEL V. LAND  
 DUAL  
 planningland.com  
 N. COLLINS BLVD  
 ROCKWALL, TX, 75080  
 PLANNINGLAND.COM  
 PLAN #12-230-0209

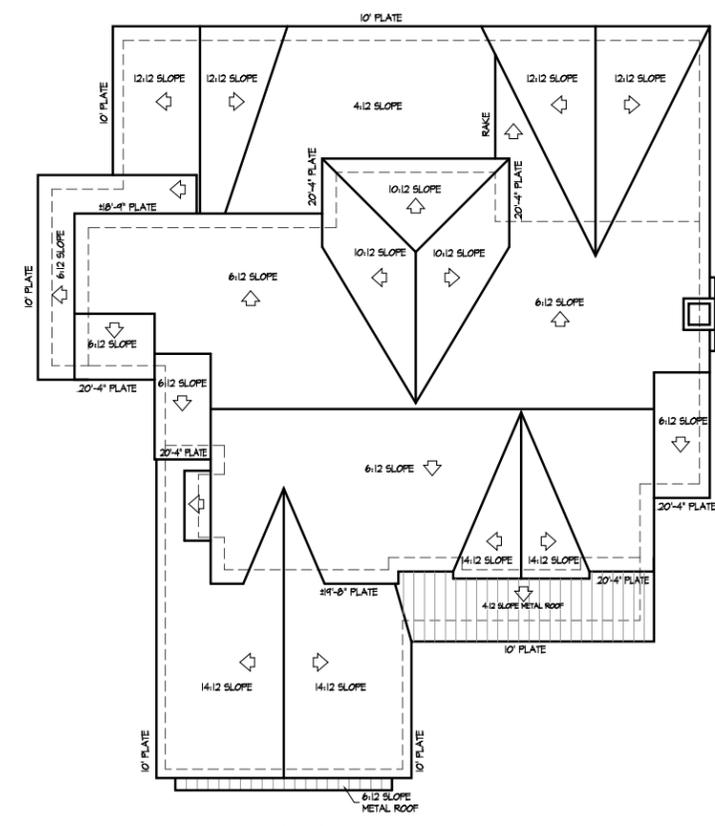
THE BRYAN RESIDENCE  
 501 S. Clark St.  
 Rockwall, TX.

THESE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION TO THE BUILDER AND ARE NOT TO BE USED TO COMPLETE THIS STRUCTURE. FIELD VERIFY THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. DO NOT SCALE THESE DRAWINGS. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES AND EXCEED PRICE PAID FOR THE PLANS.

PLAN NO.  
3102

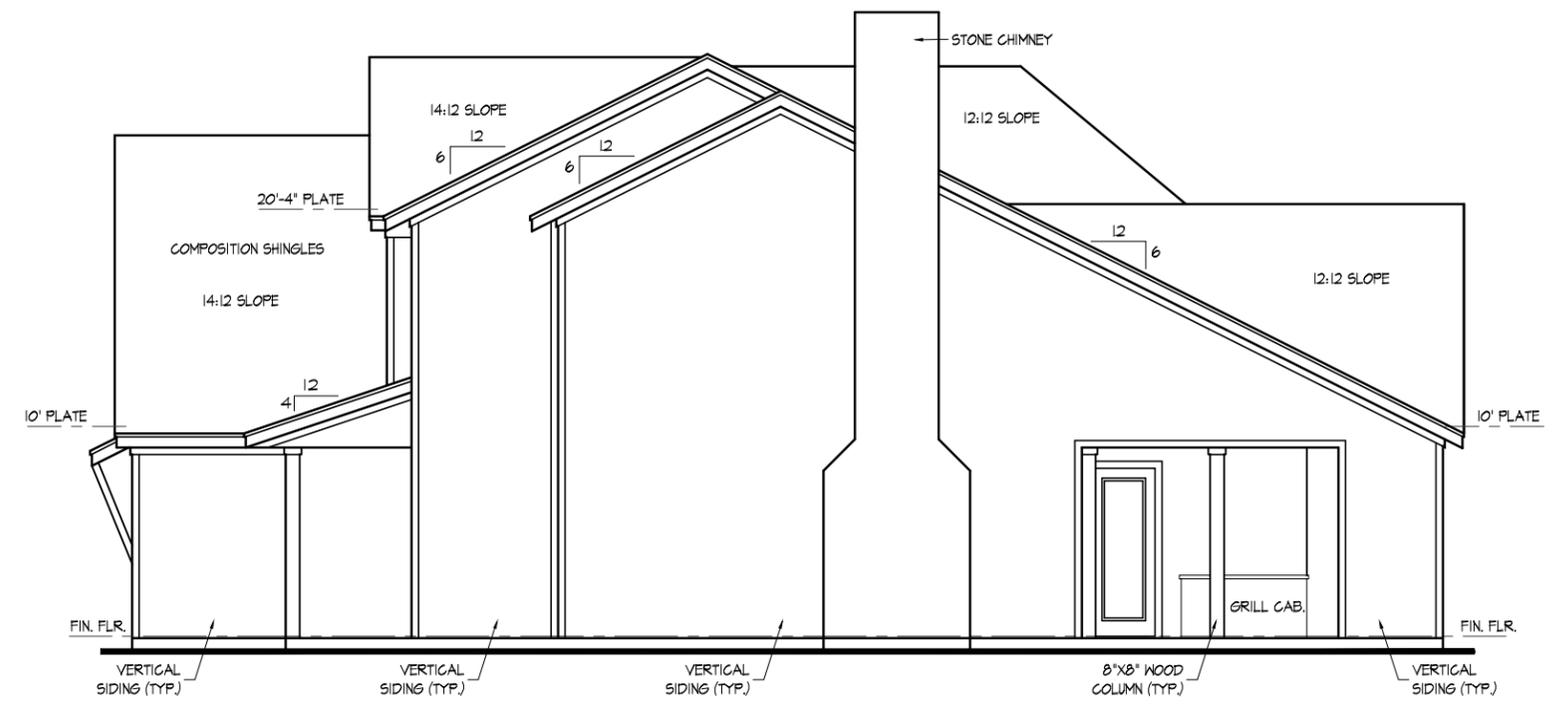
DATE  
7-20-20

REVISION DATES  
8-12-20



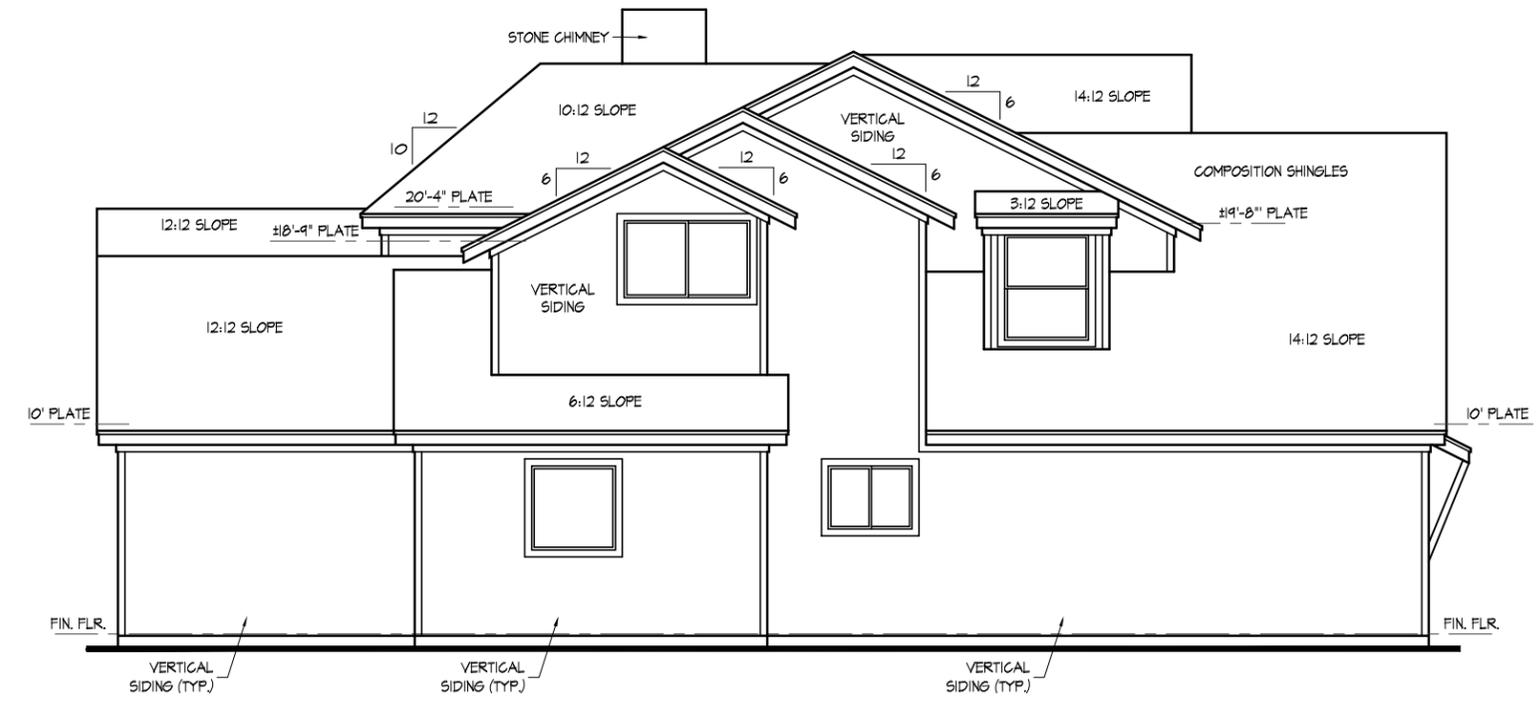
**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home	<i>Subject Property</i>			
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970	N/A		Metal
511 S Clark Street	Single-Family Home	1940	951	N/A	Siding
512 S Clark Street	Other	1960	N/A		Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
601 S Clark Street	Single-Family Home	1945	789	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1976	1,094		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



511 S Clark Street



512 S Clark Street



513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.9655-ACRE PARCEL OF LAND, IDENTIFIED AS LOT A, BLOCK 107, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Perry Bower for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.9655-acre parcel of land being described as Lot A, Block 107, B.F. Boydston, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

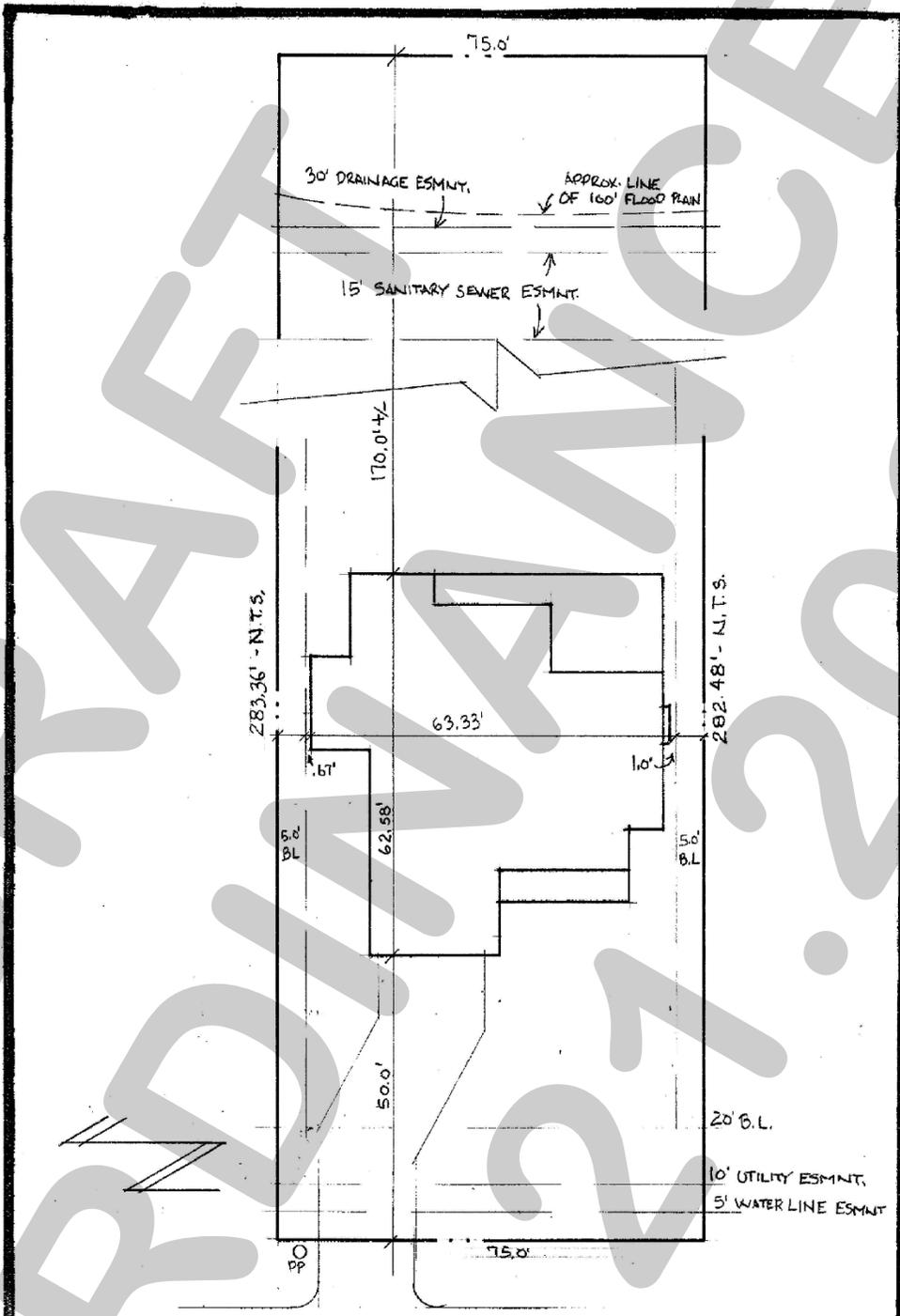
1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

DRAFT  
ORDINANCE  
12.21.2020

Address: 501 S. Clark Street  
Legal Description: Lot A, Block 107, B.F. Boydston Addition



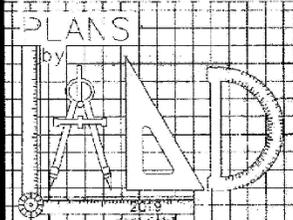


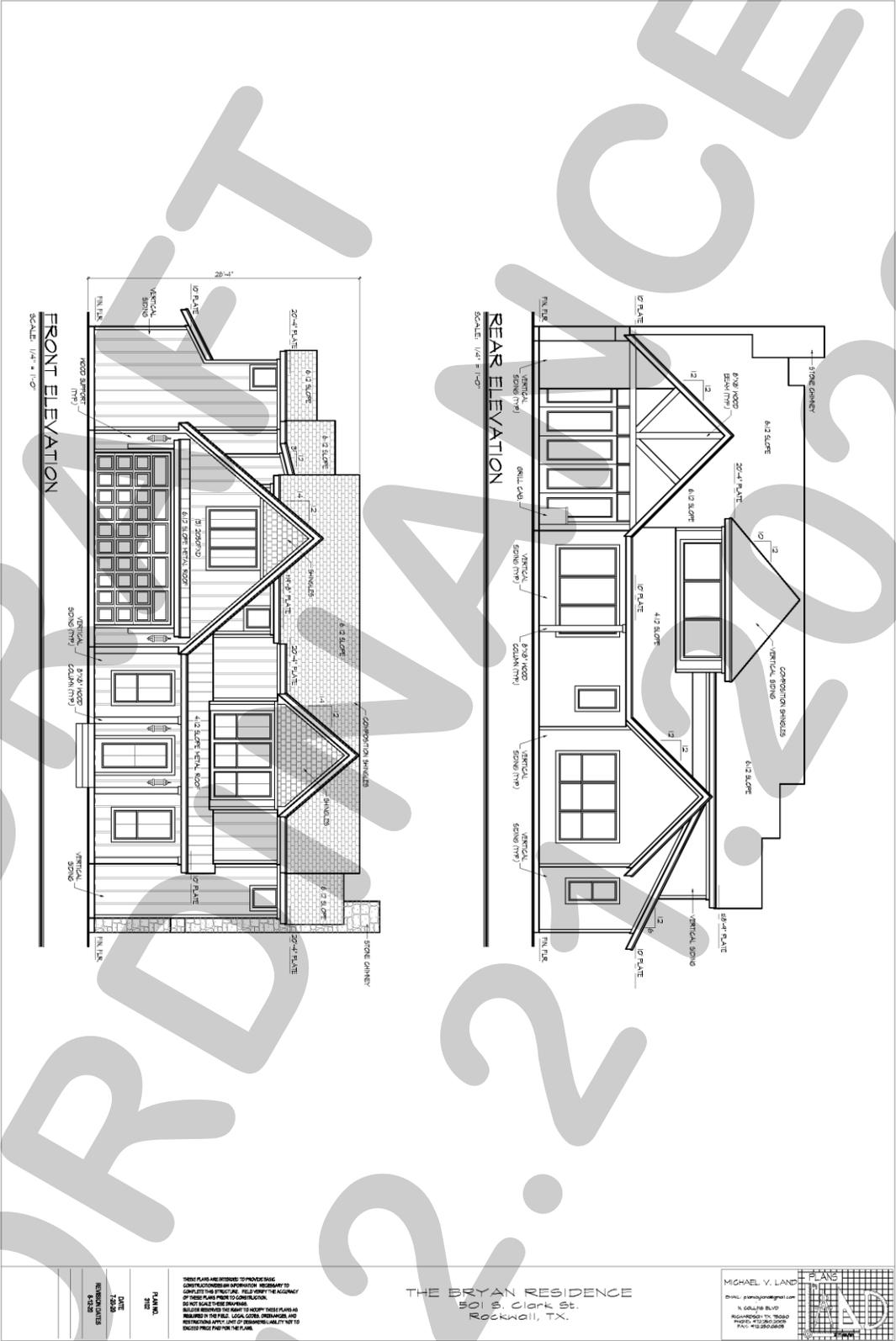
08-2020

SCALE 1" = 20.0'

The BRYAN Residence  
 HALEY + KYLE Addition  
 LOT: 1 BLK A  
 501 S. CLARK ST.  
 ROCKWALL, TX

**MICHAEL V. LAND**  
 RICHARDSON TX. 75080  
 PHONE: 972.250.2005  
 EMAIL: plensbyland@att.net





**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

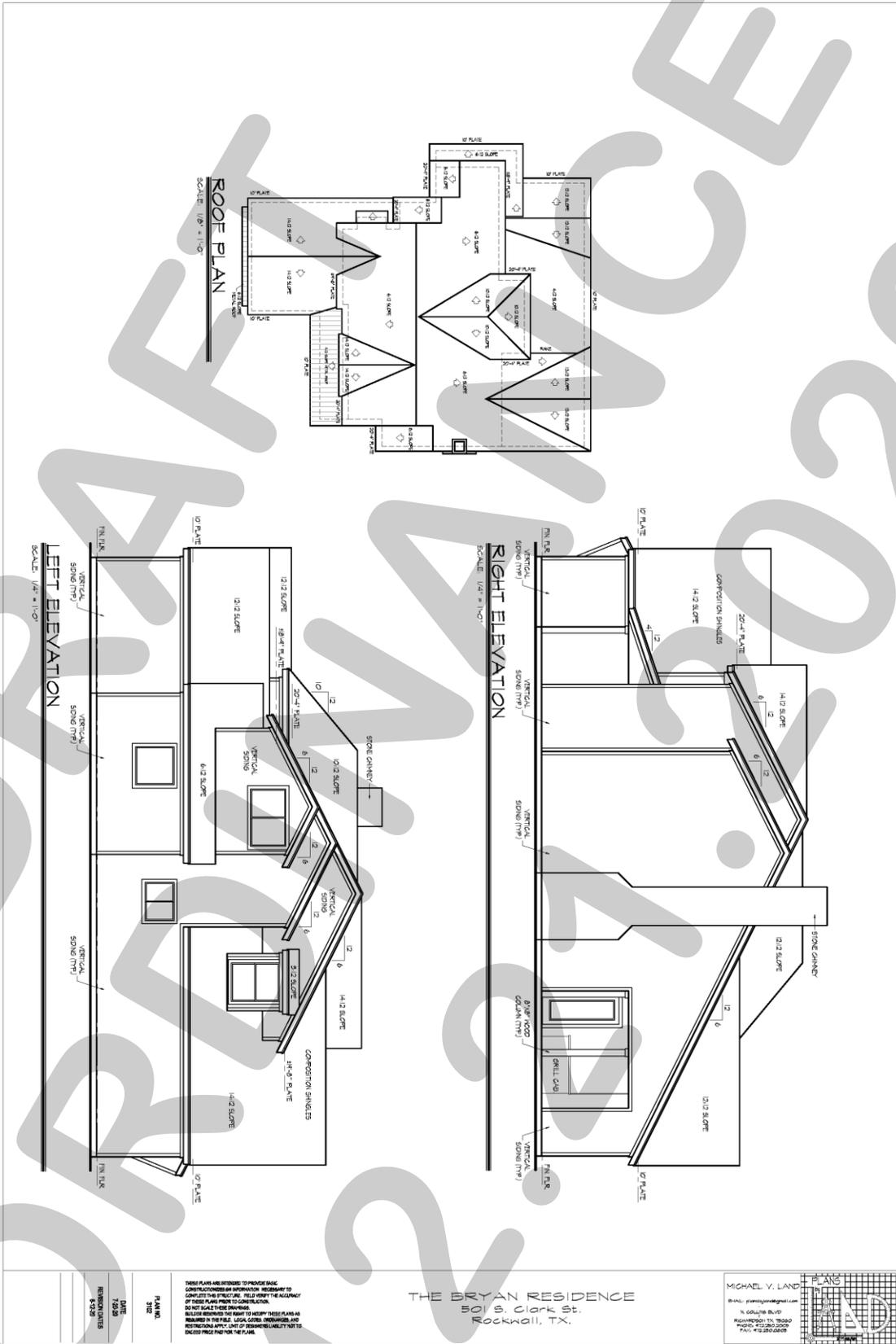
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**THE WYAN RESIDENCE**  
 801 S. Clark St.  
 ROCKFORD, TX.

MICHAEL Y. LAND  
 ARCHITECT  
 1100 N. GARDNER BLVD  
 ROCKFORD, TX 78067  
 TEL: 817-980-0000  
 FAX: 817-980-0000

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONCEPTS AND INFORMATION NECESSARY TO COMPLETE THE PROJECT AND FIELD VERIFY THE ACCURACY OF SIZE AND FINISH OF CONSTRUCTION. DO NOT SCALE THESE DRAWINGS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE INDICATED. LOCAL CODES, PERMITS AND REGULATIONS APPLY AND IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY INFORMATION FROM THE FIELD.





## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-051; SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 38 SHADYDALE DRIVE

---

### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Neighborhood Notification Email  
Property Owner Notification Map  
Property Owner Notification List  
Public Notice  
Property Owner Notifications  
Survey  
Residential Plot Plan  
Building Elevations  
Floor Plan  
Housing Analysis  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request Travis Redden for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP).



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** December 21, 2020  
**APPLICANT:** Travis Redden  
**CASE NUMBER:** Z2020-051; *Specific Use Permit (SUP) for a Residential Infill for 38 Shadydale Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 12.5 (SF-12.5) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on November 29, 1959 by *Ordinance No.73-44*. On November 12, 1973 the subject property was rezoned from an Agricultural (AG) District to Planned Development District 9 (PD-9) for Single-Family 22.5 (SF-22.5) District land uses. On November 4, 2013 Planned Development District 9 (PD-9) was amended by *Ordinance No. 13-43*, designating the subject property for Single-Family 12.5 (SF-12.5) District land uses. On March 8, 2014 the subject property was platted [*Case No. P2020-042*] as Lot 8, Block A, Shadydale Estates Addition. The subject property has remained vacant since the subject property was annexed.

### PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 38 Shadydale Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an alleyway shared by the 14 homes in the Shady Dale Estates Subdivision and Phase 2 of the Fox Chase Subdivision. North of this is Phase 2 of the Fox Chase Subdivision which was platted on April 5, 1994 and consists of 25 single-family homes. These properties are zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) and Single-Family 12.5 (SF-12.5) District land uses.

South: Directly south of the subject property is Shadydale Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) homes (*i.e. 2-5 Shady Dale Lane*) zoned Single-Family 16 (SF-16) District. South of this is the Benton Wood Subdivision, which was platted on January 13, 1993 and consists of 34 single-family homes. This subdivision is zoned Planned Development District 40 (PD-40) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property are six (6) homes (*i.e. the remainder of the Shadydale Estates Subdivision*) zoned Planned Development District 9 (PD-9) for Single-Family 12.5 District (SF-12.5) land uses. Beyond this is a home zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) District land uses. East of this is

Shadydale Lane, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) homes zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property are seven (7) homes (i.e. the remainder of the Shadydale Estates Subdivision) zoned Planned Development District 9 (PD-9) for Single-Family 12.5 (SF-12.5) District land uses. Beyond this a 2.60-acre parcel of land zoned Single-Family 16 (SF-16) District. West of this is Ridge Road, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of Phases 1, 2 & 3 of the Fox Chase Subdivision and the Benton Woods Subdivision. All of these subdivisions have been in existence for greater than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Shadydale Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Shadydale Lane and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face South onto Shadydale Lane
Year Built	1968-2019	N/A
Building SF on Property	1,353 SF – 3,449 SF	2,969 SF (2,111 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture, on the side and rear elevations, to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	The side yard setbacks greater than six (6) feet.	10-Feet
Rear	The rear yard setbacks are greater than ten (10) feet.	55.37-Feet
Building Materials	Siding, Stucco, Stone, & Brick	Brick & HardiBoard Siding
Paint and Color	White, Grey, & Brown	Dark Green (Siding)
Roofs	Composite Shingles, Tile, & Standing Seam Metal (Secondary)	Asphalt Shingles
Driveways/Garages	Driveways either front the same street the single-family home faces or face an alley.	The garage will be attached on the rear of the home with Alley Access.

The proposed single-family home meets all of the density and dimensional requirements for Planned Development District 9 (PD-9) and the Unified Development Code (UDC); however, staff should point out that the home incorporates a board-and-batten siding pattern that is architecturally different than the other newer homes on Shady Dale, which are primarily faced with stone and brick. For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or

in the vicinity of the *subject property*, staff has provided photos of the properties along Shadydale Lane and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On November 18, 2020, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Fox Chase, Benton Woods, Rainbow Lakes, and Chandler's Landing Homeowner's Association (HOA), which are the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received one (1) notice in support and 16 notices in opposition to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Conway dissenting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-051

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address: 38 Shadydale  
 Subdivision: Shady Dale Estates Lot: 8 Block: 1  
 General Location: Ridge Road / Shadydale

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: PD 9 Current Use: VACANT  
 Proposed Zoning: \_\_\_\_\_ Proposed Use: SF home  
 Acreage: 0.30 Lots [Current]: 1 Lots [Proposed]: 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Travis Redden</u>	<input type="checkbox"/> Applicant	_____
Contact Person	_____	Contact Person	_____
Address	<u>1115 Concan Drive</u>	Address	_____
City, State & Zip	<u>Forney, TX 75126</u>	City, State & Zip	_____
Phone	<u>214-315-3952</u>	Phone	_____
E-Mail	<u>asturiasdevelopments@gmail.com</u>	E-Mail	_____

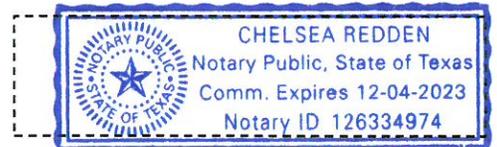
## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Travis Redden [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 21 day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 21 day of October, 2020.

Owner's Signature: Travis Redden  
 Notary Public in and for the State of Texas: Chelsea Redden

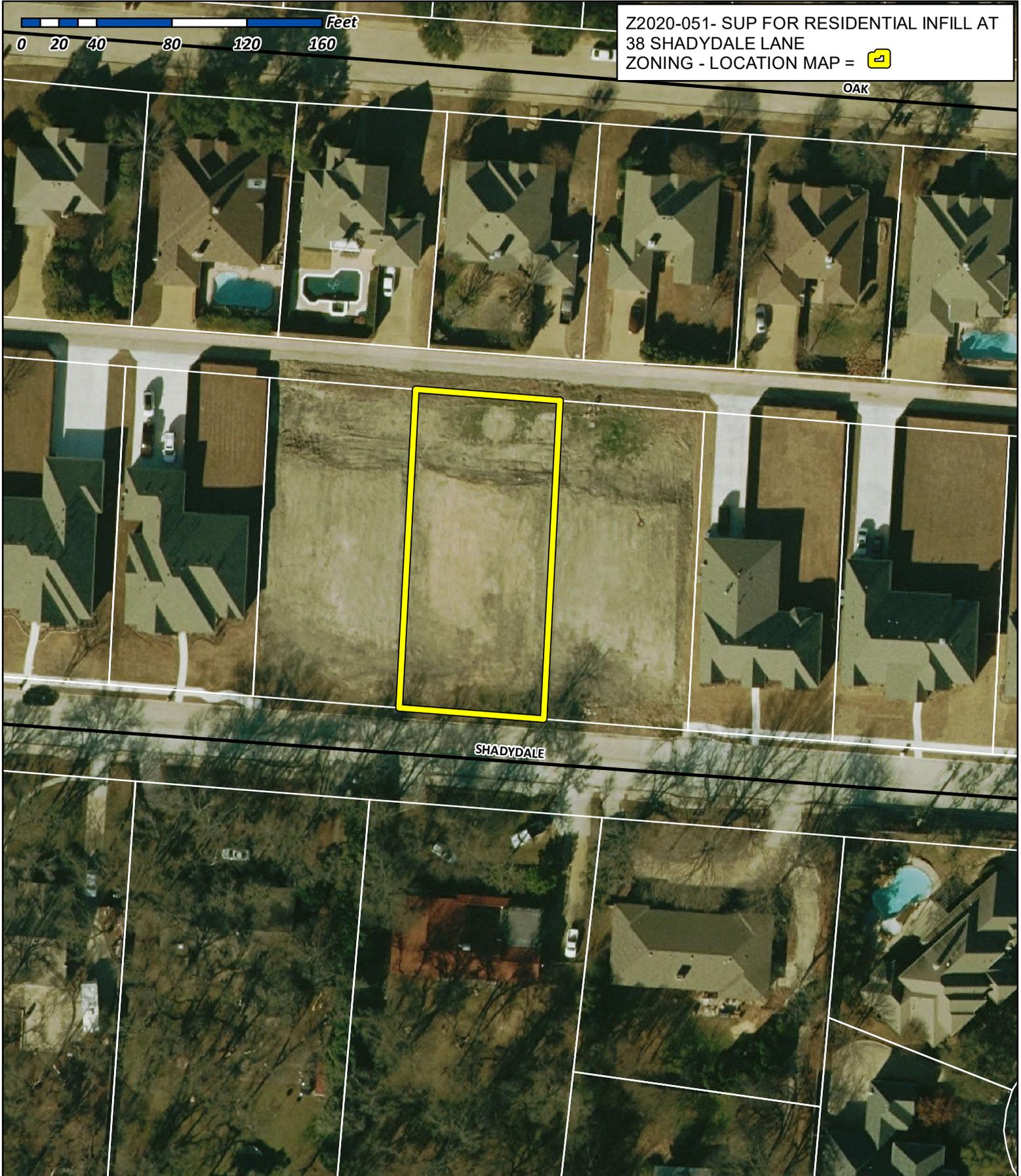


My Commission Expires 12/04/23

0 20 40 80 120 160 Feet

Z2020-051- SUP FOR RESIDENTIAL INFILL AT  
38 SHADYDALE LANE  
ZONING - LOCATION MAP = 

OAK



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

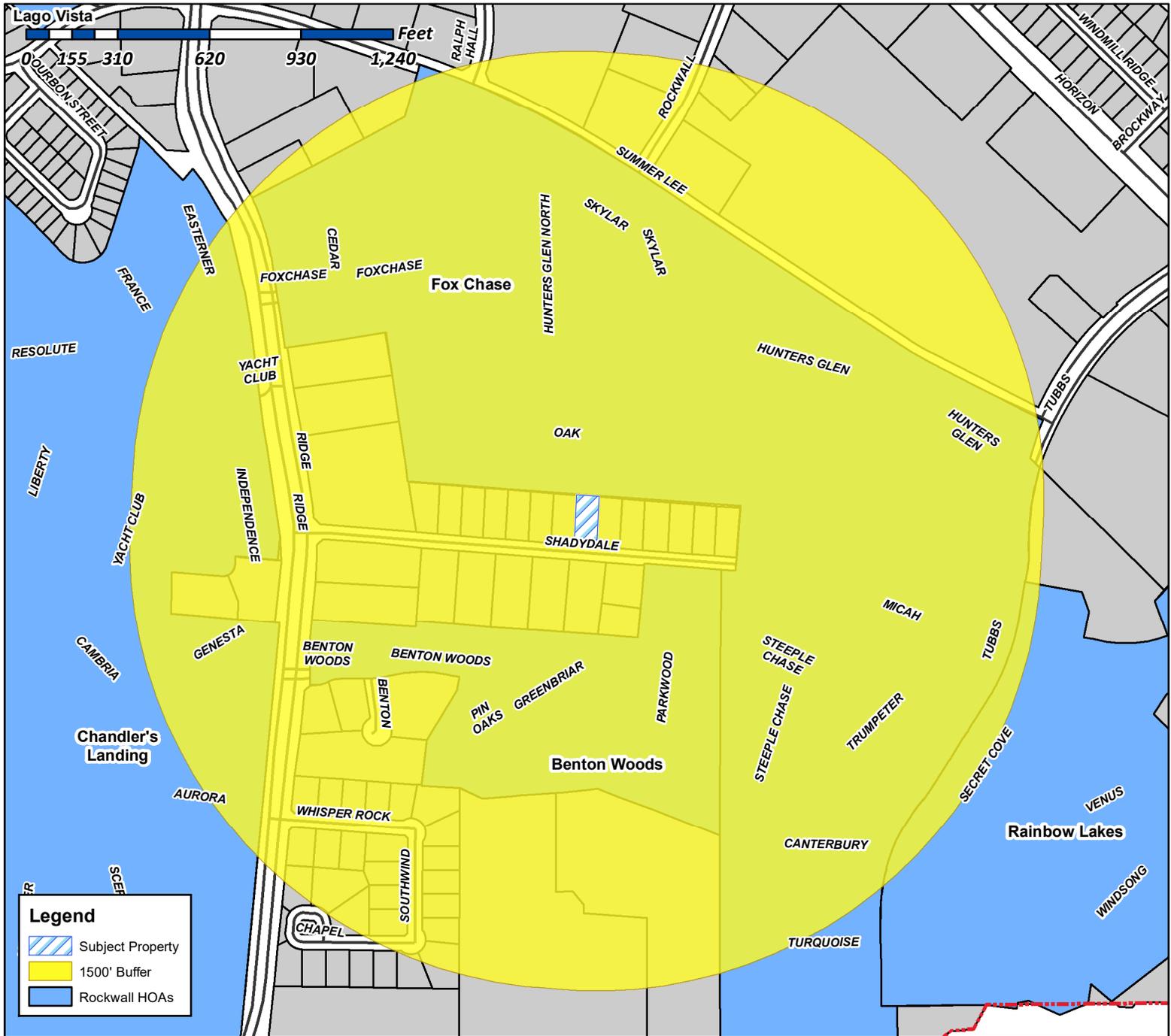




# City of Rockwall

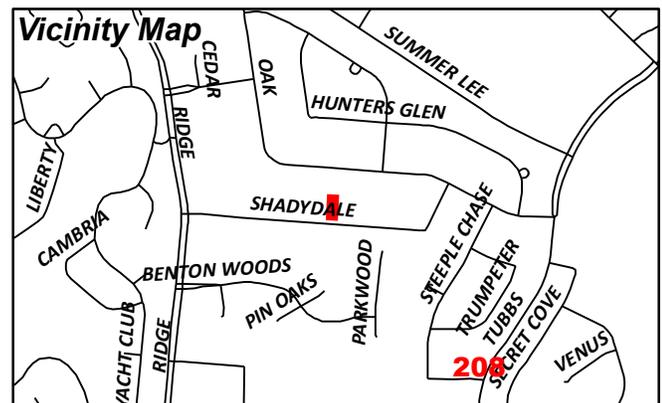
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-051  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 9 (PD-9)  
**Case Address:** 38 Shadydale Lane

**Date Created:** 11/13/2020  
**For Questions on this Case Call** (972) 771-7745



## Lee, Henry

---

**From:** Gamez, Angelica  
**Sent:** Wednesday, November 18, 2020 2:30 PM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program  
**Attachments:** HOA Map (11.13.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2020-051 Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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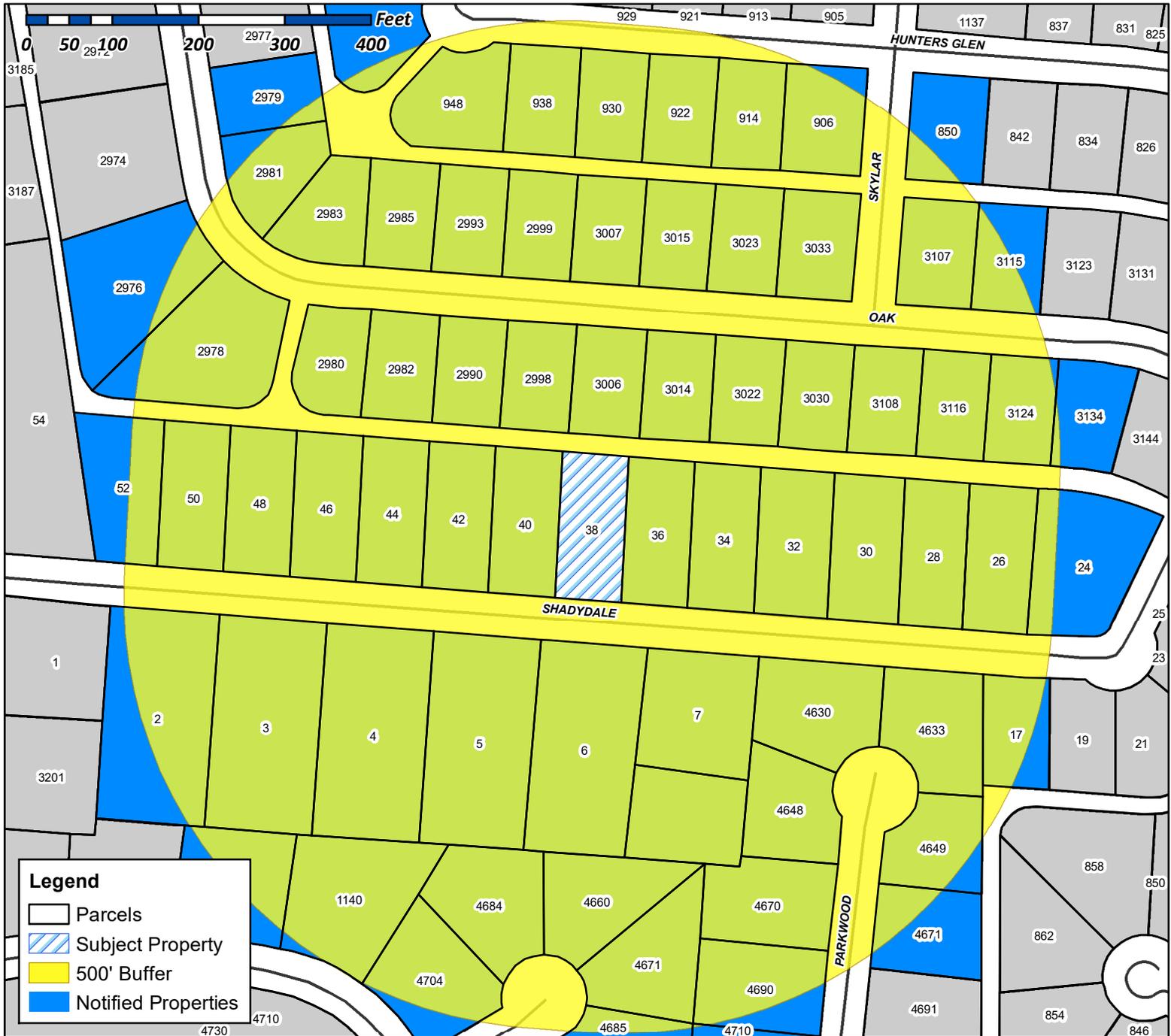
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# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-051  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 9 (PD-9)  
**Case Address:** 38 Shadydale Lane

**Date Created:** 11/13/2020  
**For Questions on this Case Call** (972) 771-7745



BCL REAL ESTATE LLC  
103 GROSS RD BLDG A  
MESQUITE, TX 75149

ROYALAND PROPERTIES LLC  
11034 GRISSOM LANE  
DALLAS, TX 75229

REDDEN TRAVIS  
1115 CONCAN DRIVE  
FORNEY, TX 75126

WILLIAMS KATHY S  
112 GLENN AVE  
ROCKWALL, TX 75087

EDWARDS RICHARD J  
1140 BENTON WOODS DR  
ROCKWALL, TX 75032

TIMBES GARY R & ELIZABETH S  
1164 BENTON WOODS DR  
ROCKWALL, TX 75032

TALCOTT CLARECE  
1606 HIDDEN CREEK DR  
ROYSE CITY, TX 75189

BALLARD STEVE & ANNABETH  
17 SHADYDALE LANE  
ROCKWALL, TX 75032

BYBEE TERRY DON & CATHERINE DENISE  
2 SHADYDALE LANE  
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN  
24 SHADY DALE LN  
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C  
26 SHADY DALE LN  
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN  
28 SHADY DALE LANE  
ROCKWALL, TX 75032

RAMOS EMILIO & MARIA C  
2976 OAK DR  
ROCKWALL, TX 75032

FOSTER JOHN CHRISTOPHER & DONNA  
2978 OAK DR  
ROCKWALL, TX 75032

SEXTON CHRISTOPHER  
2979 OAK DR  
ROCKWALL, TX 75032

SALUCCI JOSEPH LILIA  
2980 OAK DR  
ROCKWALL, TX 75032

FLORANCE JOSEPH V  
2981 OAK DRIVE  
ROCKWALL, TX 75032

COOKS LESTER L & DORIS M  
2982 OAKDR  
ROCKWALL, TX 75032

ELWONGER MARLENA JOY AND JASON  
COLEMAN  
2983 OAK DR  
ROCKWALL, TX 75032

QUALLS CHARLES S & MARY K  
2985 OAK DR  
ROCKWALL, TX 75032

LACY SUE LIFE ESTATE AND  
PHYLLIS COTTON AND KERI LACY ZUCKERBROW  
2990 OAK DRIVE  
ROCKWALL, TX 75032

CHOATE RANDELL G & CAROLYN J  
2993 OAK DR  
ROCKWALL, TX 75032

THORNLEY JILL E & GERALD R  
2996 HUNTERS GLN N  
ROCKWALL, TX 75032

FRISBY JOHN R & THERESA M  
2998 OAK DR  
ROCKWALL, TX 75032

COUGHLIN BRIAN & KAREN  
2999 OAK DR  
ROCKWALL, TX 75032

MITCHELL RYAN PATTON & AMANDA NICOLE  
3 SHADYDALE LANE  
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN  
30 SHADY DALE LN  
ROCKWALL, TX 75032

HOYA CHARLOTTE G  
3006 OAK DR  
ROCKWALL, TX 75032

TALCOTT CLARECE  
3007 OAKDR  
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L  
3014 OAK DR  
ROCKWALL, TX 75032

ROYALAND PROPERTIES LLC  
3015 OAKDR  
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A  
3021 RIDGE RD SUITE A PMB #131  
ROCKWALL, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E  
3022 OAK DR  
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST  
JUNE PETROCELLY TRUSTEE  
3023 OAK DRIVE  
ROCKWALL, TX 75087

COOKS LESTER L & DORIS M  
3026 ANDREW DR  
FARMERSVILLE, TX 75442

MCDONALD NICOLE AND ADAM  
3030 OAK DR  
ROCKWALL, TX 75032

CLARK ROGER AND VICKIE LYNN  
3033 OAK DRIVE  
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D  
3107 OAK DR  
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN  
3108 OAK DR  
ROCKWALL, TX 75032

MCMAHON SANDRA  
3115 OAK DR  
ROCKWALL, TX 75032

BEVAN MARILYN  
3116 OAK DR  
ROCKWALL, TX 75032

CHILDRESS SHERRY L  
(ALICE CHILDRESS LIFE ESTATE)  
3124 OAK DR  
ROCKWALL, TX 75032

MANNO SHARON &  
PAUL FULLINGTON  
3134 OAK DR  
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGHI  
32 SHADY DALE LN  
ROCKWALL, TX 75032

TINDALL CINDY P  
34 SHADY DALE LN  
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE  
36 SHADY DALE LN  
ROCKWALL, TX 75032

REDDEN TRAVIS  
38 SHADY DALELN  
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST  
RHUDY THOMAS RICHARD AND LAURA MARIE-  
TRUSTEES  
3923 POSTRIDGE TRAIL  
MELBOURNE, FL 32934

TASSET AUSTIN & KENNEDY  
4 SHADY DALE LANE  
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC  
40 SHADY DALELN  
ROCKWALL, TX 75032

PITTMAN JAMES CHRISTOPHER AND AMY  
42 SHADY DALE LANE  
ROCKWALL, TX 75032

MARTINEZ MAYRA  
44 SHADY DALE LANE  
ROCKWALL, TX 75032

VITALE LINDA A  
46 SHADY DALE LN  
ROCKWALL, TX 75032

KHODAPARAST RAHIM & ROYA  
4630 PARKWOOD DR  
ROCKWALL, TX 75087

VEST DONALD R  
4633 PARKWOOD DR  
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D  
4648 PARKWOOD DRIVE  
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A  
4649 PARKWOODDR  
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN  
4660 GREENBRIAR CT  
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL  
4670 PARKWOOD DR  
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF  
4671 GREENBRIAR CT  
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L  
4671 PARKWOOD DR  
ROCKWALL, TX 75032

ANSARI CYRUS  
4684 GREENBRIAR CT  
ROCKWALL, TX 75032

HAIN MARGARET GUNTHER AND  
STEPHANIE HAIN TORRES  
4685 GREENBRIAR CT  
HEATH, TX 75032

RICHARDSON JIM & CAROL  
4690 PARKWOOD DR  
ROCKWALL, TX 75032

PARKS TODD L AND RHONDA DENISE  
4704 GREENBRIAR CT  
ROCKWALL, TX 75032

CARPENTER CRAIG S & EVE E  
4710 PARKWOOD DR  
ROCKWALL, TX 75032

FAULKNER DANICA J AND MATTHEW L JOHNS  
48 SHADY DALE LN  
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST  
RHUDY THOMAS RICHARD AND LAURA MARIE-  
TRUSTEES  
5 SHADYDALELN  
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY  
50 SHADY DALE LN  
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY  
52 SHADY DALELN  
ROCKWALL, TX 75032

CARTER SHARON R  
BLANKENSHIP DON L & AUDREY LIFE ESTATE  
6 SHADY DALE LN  
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C  
7 SHADYDALELN  
ROCKWALL, TX 75032

CARNES LINDA M  
850 HUNTERS GLN  
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C  
888 NIGHTLIGHT DR  
YORK, PA 17402

ERICKSON MARIUM E LIVING TRUST  
906 HUNTERS GLEN  
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST  
JEFFREY CHAD MONK TRUSTEE  
914 HUNTERS GLEN  
ROCKWALL, TX 75032

TEAFF DAVID J & KAREN L  
922 HUNTERS GLN  
ROCKWALL, TX 75032

CLARKE VANCE M & PAMELA L  
930 HUNTERS GLN  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
938 HUNTERS GLEN  
ROCKWALL, TX 75032

HERVEY GAIL  
948 HUNTERS GLN  
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC  
PO BOX 8333  
GREENVILLE, TX 75404

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-051: Specific Use Permit for Residential Infill**

*Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-051: Specific Use Permit for Residential Infill**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar]  
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Gamez, Angelica

---

**From:** Denward Freeman <denwardfreeman@msn.com>  
**Sent:** Monday, November 23, 2020 3:18 PM  
**To:** Planning  
**Subject:** Case No.Z2020-051

To Mr. Henry Lee,  
Please let this email serve as my approval/support of the request for SUP for Residential Infill for Case No. Z2020-051. If you have any questions regarding this communication please call me at 214-686-7040.

Thanks,  
Denward L. Freeman  
4660 Greenbriar Cir  
Rockwall, Tx

---

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

As our neighborhood has grown so have the problems; this zoning change only increases the problems we already have.

## Respondent Information

Please provide your information.

First Name \*

Amy

Last Name \*

Boswell

Address \*

2705 Cedar Court

City \*

Rockwall

State \*

TX

Zip Code \*

75032

Email Address \*

amyboswell@gmail.com

Phone Number

972-771-0857

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This would drive my home price down. I am in full opposition of this request.

## Respondent Information

Please provide your information.

### First Name \*

Ben

Last Name \*

Carroll

Address \*

1169 Skylar Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75032

Email Address \*

btcarroll18@icloud.com

Phone Number

817-422-4511

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

### First Name \*

Nicole

Last Name \*

C

Address \*

1169 Skylar Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75032

Email Address \*

nccarroll09@gmail.com

Phone Number

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This proposed improvement does not conform with the neighborhood (style, construction, window type & amount, exterior walls etc.). Therefore, this style & quality of build and materials used could adversely impact our property values. We would like to have the exterior of the improvement changed to conform with the neighborhood.

## Respondent Information

Please provide your information.

First Name \*

Chris & Amy

Last Name \*

Pittman

Address \*

42 Shadydale Lane

City \*

Rockwal

State \*

TX

Zip Code \*

75032

Email Address \*

mrsamypittman@yahoo.com

Phone Number

214-537-0324

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

zone change lower income housing

## Respondent Information

Please provide your information.

### First Name \*

CINDY

Last Name \*

BAXTER

Address \*

839 Turquoise Point

City \*

ROCKWALL

State \*

TX

Zip Code \*

75032

Email Address \*

CINDY@ARTGIGS.COM

Phone Number

214-289-8380

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

May cause my property values to decrease, more traffic and safety issues.

## Respondent Information

Please provide your information.

### First Name \*

Cindy

Last Name \*

Chancellor

Address \*

2975 Hunters Glen N

City \*

Rockwall

State \*

TX

Zip Code \*

75032

Email Address \*

cchancellor@huntoil.com

Phone Number

214-478-5803

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I do not think this house fits with the style of the neighborhood and fear property devaluations now and in the future.

## Respondent Information

Please provide your information.

First Name \*

David and Karen

Last Name \*

Teaff

Address \*

922 Hunters Glen

City \*

Rockwall

State \*

Texas

Zip Code \*

75032

Email Address \*

kteaff@sbcglobal.net

Phone Number

972-772-5007

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

My husband and I are requesting that the builders reconsider their design of the house. We believe that the style and design of the house is not a good fit for our neighborhood and will effect the neighborhood home values. Please consider the people in our neighborhood who work hard to maintain their homes where our families live and our children play. We are pleading with you not build this style of house on Shadydale, it is very important to us as homeowners to maintain our neighborhood and our home values. Kind regards,  
Dennis and Colleen Bowers

## Respondent Information

Please provide your information.

First Name \*

Dennis and Colleen

Last Name \*

Bowers

Address \*

3108 Oak Drive

City \*

Rockwall

State \*

Tx

Zip Code \*

75032

Email Address \*

colleenbowers@sbcglobal.net

Phone Number

---

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This cheaper home will lower the rest of our property values and does not conform to the rest of the homes in the neighborhood.

## Respondent Information

Please provide your information.

First Name \*

Eddie

Last Name \*

Miller

Address \*

831 Elgin Court

City \*

ROCKWALL

State \*

TX

Zip Code \*

75032

Email Address \*

txmiller@earthlink.net

Phone Number

972-998-2203

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Property values decrease, increase crime and traffic. Safety issues.

## Respondent Information

Please provide your information.

First Name \*

Frances

Last Name \*

Morelock

Address \*

454 Chippendale Dr

City \*

Rockwall

State \*

TX

Zip Code \*

75032

Email Address \*

wdmorelock@aol.com

Phone Number

972-771-2818

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Negative property value .

## Respondent Information

Please provide your information.

First Name \*

Janet

Last Name \*

Pike

Address \*

3171 Oak Drive

City \*

Rockwall

State \*

Tx

Zip Code \*

75032

Email Address \*

jlpike98@gmail.com

Phone Number

361-646-3166

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am in opposition to the proposed application to build the single family home due to the proposed lower price point. This home is of an extremely lower price point to that of the houses in and around FoxChase. A home of this lower price point will greatly impact and lower our property values and re-sale values in our FoxChase neighborhood. We are strongly OPPOSED to this application!

## Respondent Information

Please provide your information.

First Name \*

Jennifer

Last Name \*

Sipple

Address \*

1145 Skylar Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75032

Email Address \*

jennifer.n.dunn@gmail.com

Phone Number

214-608-2698

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-051: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

### Case No. Z2020-051: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The plans for the house as submitted do not meet the design standards of the other homes on the street and in Shadydale Estate. The exterior elevation of the house will not blend with the other homes and will stand out and affect the other property values detrimentally.

Name: Mark Trovillion / Castle Rock Custom Builders  
Address: 40 Shadydale Lane

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

## First Name \*

Marlena

Last Name \*

Elwonger

Address \*

2983 Oak Dr

City \*

Rockwall

State \*

Texas

Zip Code \*

75032

Email Address \*

marlena718@hotmail.com

Phone Number

214-478-0718

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Concern about property values and impact this could have on area

## Respondent Information

Please provide your information.

First Name \*

Pamela

Last Name \*

Clarke

Address \*

930 Hunters Gln

City \*

Rockwall

State \*

TX

Zip Code \*

75032

Email Address \*

clarkevp@aol.com

Phone Number

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

There should not be a lower income house along higher priced houses. Will affect our resell values.

## Respondent Information

Please provide your information.

### First Name \*

Sharon

Last Name \*

Manno

Address \*

3134 Oak Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75032

Email Address \*

fritz99@sbcglobal.net

Phone Number

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-051

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Need to maintain property values with similar-type dwellings.

## Respondent Information

Please provide your information.

First Name \*

Ted

Last Name \*

Zobeck

Address \*

4850 Tubbs Rd

City \*

Rockwall

State \*

TX

Zip Code \*

75032

Email Address \*

tzobeck@charter.net

Phone Number

806-928-8345

Please check all that apply: \*

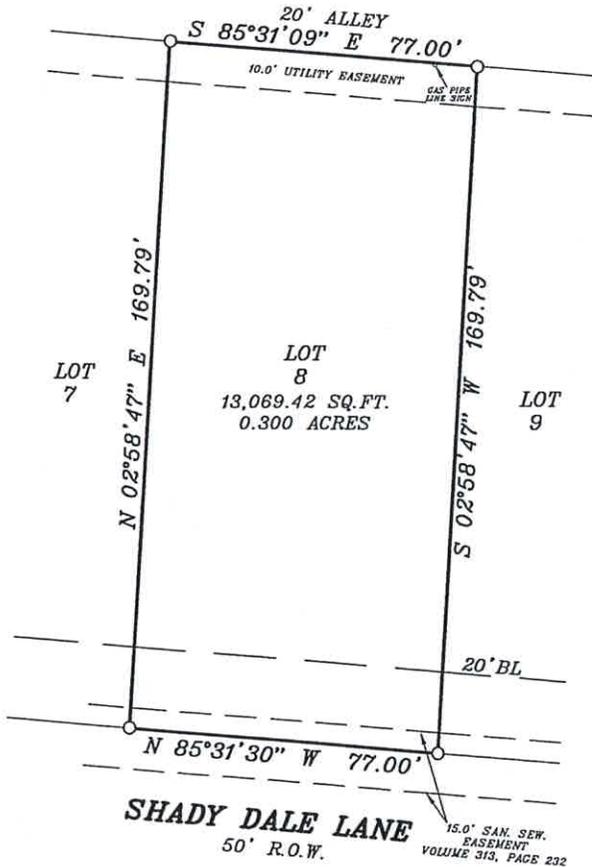
- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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**PROPERTY DESCRIPTION**

LOCATED AT 38 SHADY DALE LANE, IN THE CITY OF ROCKWALL, TEXAS,  
 LOT NO. 8 BLOCK NO. 1  
 OF SHADY DALE ESTATES AN ADDITION  
 TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF  
 RECORDED IN CABINET H SLIDE 399 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

**SURVEYOR'S CERTIFICATE**

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR (BRIAN GALLIA) HEREBY CERTIFIES TO ( ALLEGIANCE TITLE AND TRAVIS REDDEN ), IN CONNECTION WITH THE TRANSACTION DESCRIBED IN G.F. 1878844-106H THAT, THE SURVEY AND DESCRIPTION SET FORTH HEREON WERE PREPARED FROM AN ACTUAL, ON-THE-GROUND INSPECTION OF THE SUBJECT PROPERTY; SUCH SURVEY WAS CONDUCTED BY THE UNDERSIGNED, OR UNDER HIS DIRECTION; THE PLAT HEREON CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME THE SURVEY WAS PERFORMED AND IS AN ACCURATE REPRESENTATION OF THE PROFESSIONAL OPINION OF THE UNDERSIGNED; LOCATION AND DESCRIPTION OF VISIBLE AND APPARENT IMPROVEMENTS ARE AS INDICATED AND THERE ARE NO VISIBLE AND APPARENT ENCROACHMENTS OR PROTRUSIONS ON THE GROUND EXCEPT AS INDICATED; THE SURVEY SET FORTH HEREON WAS PERFORMED EXCLUSIVELY FOR THE BENEFIT OF THE ABOVE NOTED PARTIES AND TRANSACTION; ANY USE OF THIS SURVEY BY OTHER PARTIES AND/OR USE FOR ANY OTHER PURPOSE SHALL BE AT USER'S OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREOF.

EXECUTED THIS 6TH DAY OF MARCH, 2018

*Brian Gallia*

BRIAN GALLIA  
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569



ACCEPTED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEY PLAT**

38 SHADY DALE LANE  
 LOT 8, BLOCK 1, SHADY DALE ESTATES  
 ROCKWALL, ROCKWALL COUNTY, TEXAS

~BRIAN GALLIA & ASSOCIATES~  
 BC&A Land Surveying, Inc.  
 9011 STATE HIGHWAY 34 S. SUITE - C  
 QUINLAN, TEXAS, 75174  
 PHONE (903) 447-0658  
 FAX: (903) 447-0931  
 www.bqasurveying.com

JOB NO. 1801116-1 CAD. TECH. P.OWEN

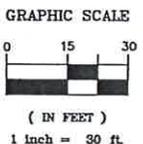
LEGEND	
BRICK	IRF/IRS-IRON ROD FOUND/SET
COVERED AREA	NAIL FOUND/SET
CONCRETE	1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
WOOD DECK	1/2" IRON ROD SET
STONE	1" IRON PIPE FOUND
GRAVEL/ROCK ROAD OR DRIVE	MONUMENT FOUND
ASPHALT PAVING	"x" FOUND/SET
	ELLECTRIC METER
	LP - LIGHT POLE
	GUY WIRE
	D&U- DRAINAGE & UTILITY EASEMENT
	BL- BUILDING LINE/SET BACK LINE
	W- WOOD FENCE
	B- BARBED WIRE
	M- METAL FENCE
	P- PIPE FENCE
	W- WATER LINE
	G- GAS LINE
	LP - LIGHT POLE
	OHP - OVERHEAD POWER LINE
	PPC- POINT FOR CORNER
	ROW- RIGHT-OF-WAY
	EASMT- EASEMENT
	AC- AIR CONDITIONING
	PE- POOL EQUIPMENT
	UGT- UNDERGROUND TELEPHONE
	CATV- UNDERGROUND CABLE TV
	TRANS- ELECTRIC TRANSFORMER

THE SURVEY SET FORTH HEREON HAS BEEN CONDUCTED AND PREPARED AT THE REQUEST AND IN CONFORMANCE WITH THE INFORMATION PROVIDED BY THE CLIENT OR REPRESENTATIVES THEREOF. BQ&A LAND SURVEYING, INC. HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR THE EXISTENCE OF EASEMENTS, RESTRICTIONS, ENCUMBRANCES OR OTHER FACTS OR MATTERS THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEY SET FORTH HEREON IS NOT TO BE RELIED UPON FOR FUTURE CONSTRUCTION PURPOSES. CONTACT ALL GOVERNING AUTHORITIES (MUNICIPALITIES, UTILITY AGENCIES, ASSOCIATIONS, ETC.) PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE TEXAS EXCAVATION SAFETY SYSTEM CAN BE CONTACTED BY CALLING 811. CALL BEFORE YOU DIG.

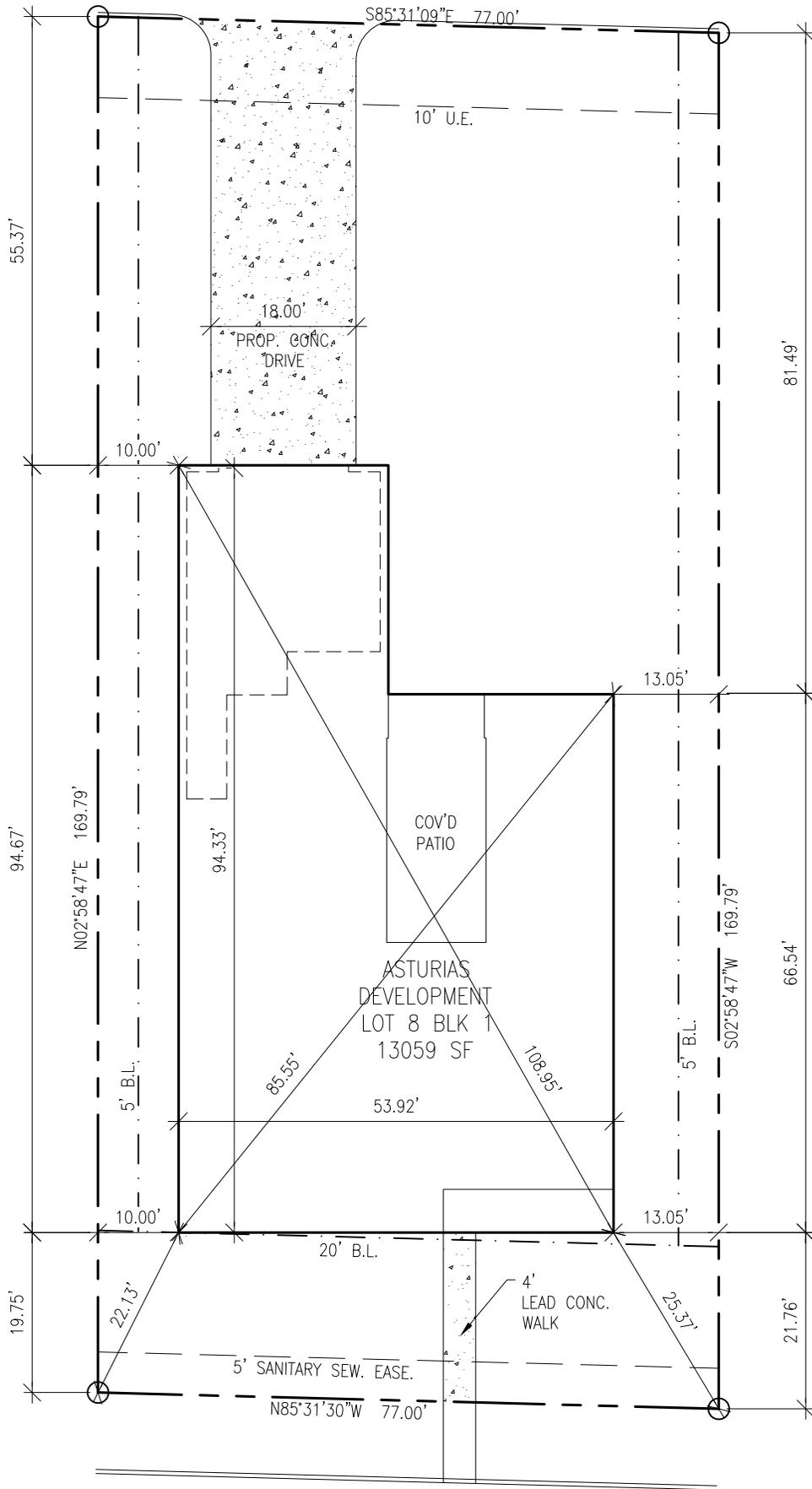
NOTE: ACCORDING TO THE F.L.R.M. IN COMMUNITY PANEL NO. 48397C004DL THIS PROPERTY APPEARS TO LIE IN ZONE X AND APPEARS NOT TO LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES; THIS FLOOD STATEMENT AND/OR FLOOD LINES SHOWN HEREON SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: BEARINGS ARE BASED ON SOUTH LINE OF LOT 8, BLOCK 1 OF RECORDED PLAT. THIS SURVEY IS NOT A REPRESENTATION OF WARRANTY OF TITLE OR GUARANTEE OF OWNERSHIP.

TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150300



ALLEY  
(20' R.O.W. - ASPHALT)



Lot Coverage Calculations:

Slab	4307	SF
Patio/Stoop	0	SF
Drive	993	SF
Private-Walk	85	SF
Total Flatwork	1078	SF
Lot Coverage	32.9	%
Driveway Apron	0	SF
Public Walk	0	SF
Total Sod	853	SQ YD
Fence	0	SF

Legend:

	Proposed Fence
	Property Line
	Building Lines
	Easements
	Swale Line
	Silt Fence
	Existing Grade
	Proposed Grade

General Notes:

- The purpose of this plan is to show the proposed building footprint as defined by the metes and bounds of the recorded plat.
- Dimensions, setbacks, easements, plan selection, and any other information shown here in shall be verified at permitting and prior to construction for accuracy and compliance with all applicable codes and ordinances.
- Builder is solely responsible for ensuring that the footprint is contained within the prepared building pad. The building pad shall be set high enough to allow for adequate drainage.
- All calculations are approximate. They must be verified prior to permitting, purchasing, and/or construction. City side walk will not be included in flatwork calcs.
- A form survey is required for verification of form placement prior to concrete pour. ELD accepts no liability where a form survey is not provided.

BUILDER: ASTURIAS DEVELOPMENTS	PLAN: CUSTOM
ADDITION: 38 SHADYDALE - PR	ELD JOB NO: DIF20-0868
ADDRESS: 38 SHADY DALE LANE	DRAWN BY: AA
LOT: 8                      BLOCK: 1	CHECKED BY: ELD
CITY: ROCKWALL, TX	SCALE: 1:20
DATE 08/19/2020	

PLOT PLAN  
ENGINEERED FOR:  
**Asturias  
Development**

ERIC L. DAVIS ENGINEERING, INC. 120 East Main Street Forney, Texas 75126 972/564-0592 Fax 972/564-6523 E-Mail ericcdavis@eldengineering.com	
---	--

# ASTURIAS DEVELOPMENT



PERSPECTIVE VIEW  
NTS

### GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY PAGE OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULES.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY ENGINEERS LIGHTS, COVERING, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK.
8. CONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC. THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

### BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

### CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x6.
2. ALL INTERIOR WALLS SHALL BE 2x4 L.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. 3/4" AD & STITCH IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET FILLING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE FULLY PER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW SILL OPENINGS SHALL BE 3/4" OVER THE OUTSIDE EDGES OF ADJACENT DOOR, WINDOW AND TRANSOM TRIM IS ALIGNED L.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE LIFT SIZES. VERIFY ACTUAL SIZES AND WINDOW OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 9" FROM CORNERS WHERE POSSIBLE.

Layout Page Table	
Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	FRONT AND REAR ELEVATIONS
A-4	LEFT AND RIGHT ELEVATIONS
A-5	FLOOR PLAN W/ DIMENSIONS
A-6	ELECTRICAL PLAN

PLANS FOR:  
ASTURIAS DEVELOPMENT  
TRAVIS REDDEN  
38 SHADY DALE LANE  
ROCKWALL, TEXAS 75082

TITLE:  
COVER PAGE

SHANNON NEWBOM MARK NEWBOM  
**CADAZIGN**  
ROYSE CITY, TEXAS 75189  
469-338-9863  
DRAWN BY:

DATE:  
6/16/2020

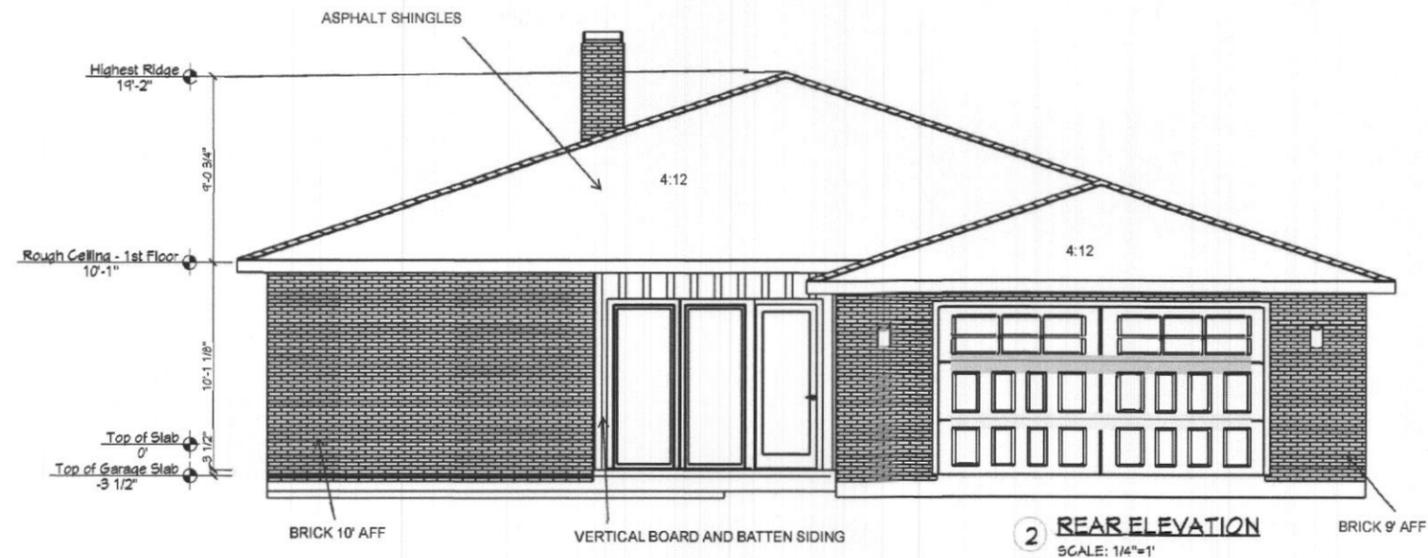
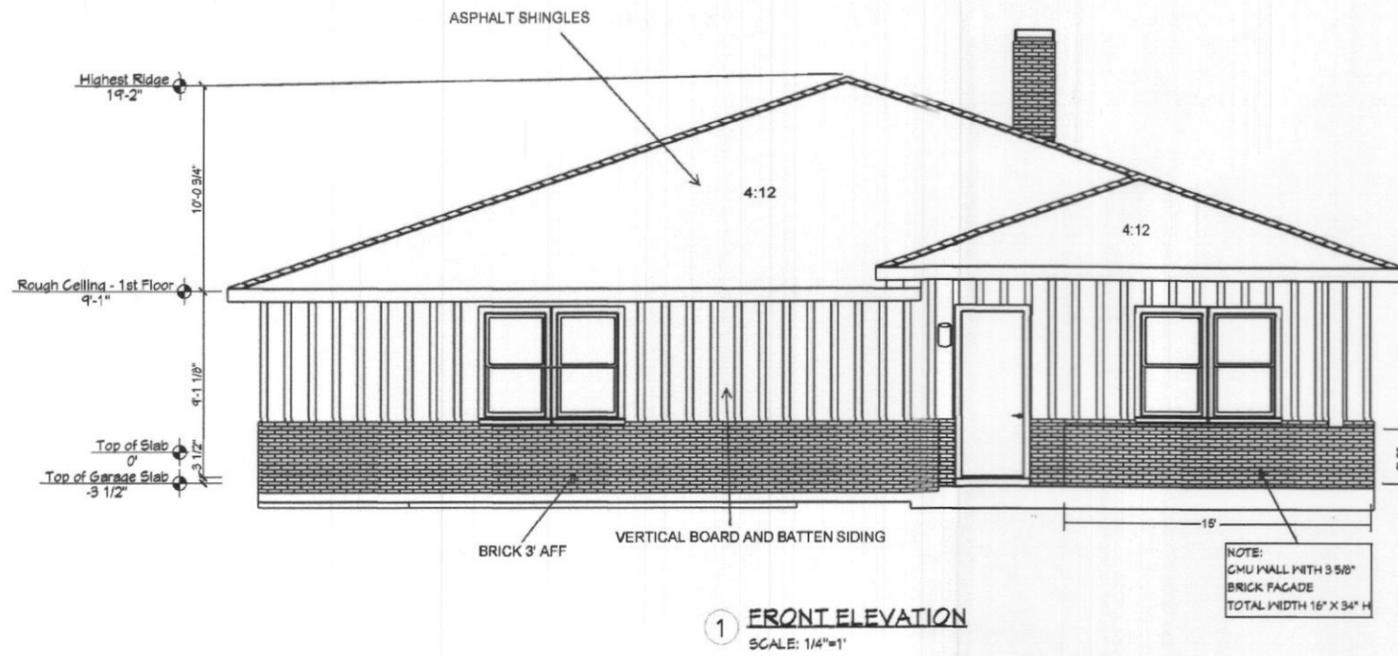
SCALE:  
AS SHOWN

SHEET:

A-1

38 Shady Dale Rendering Concept





PLANS FOR:  
ASTURIAS DEVELOPMENT  
TRAVIS REDDEN  
38 SHADY DALE LANE  
ROCKWALL, TEXAS 75082

TITLE:  
FRONT & REAR ELEVATIONS

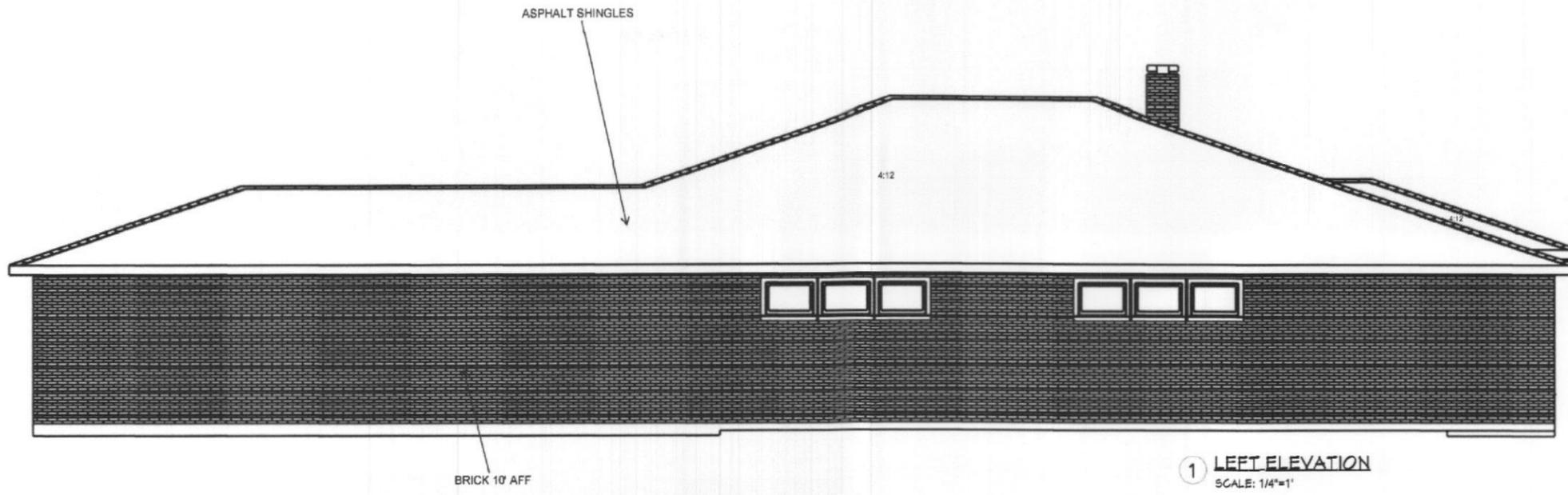
SHANNON NEWBOM MARK NEWBOM  
**CADAZIGN**  
ROYSE CITY, TEXAS 75184  
469-388-4863  
DRAWN BY:

DATE:  
6/16/2020

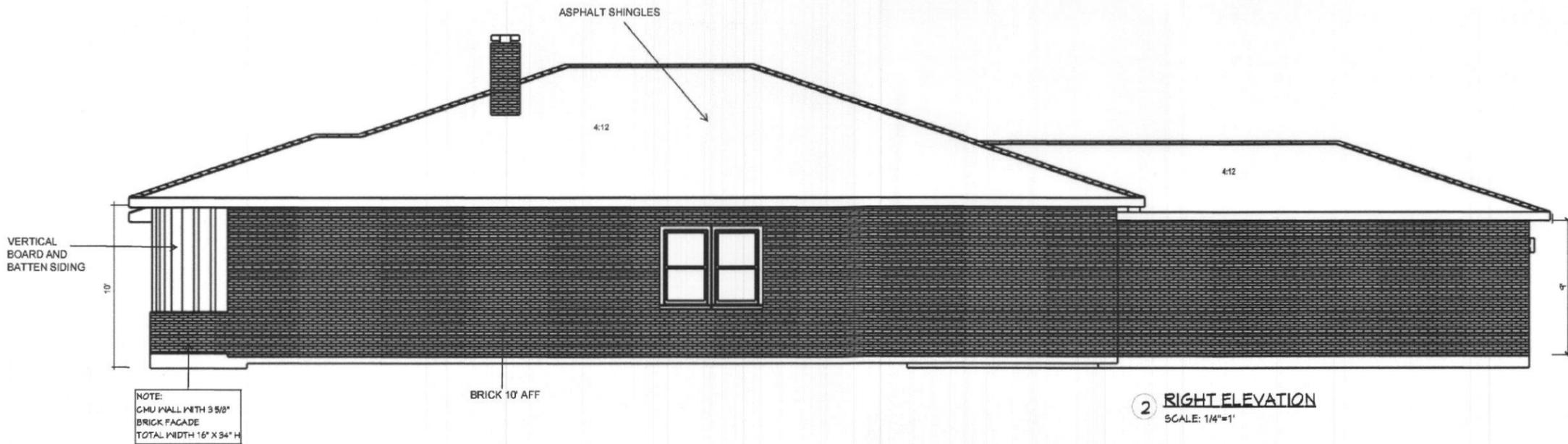
SCALE:  
AS SHOWN

SHEET:

A-3  
269



1 LEFT ELEVATION  
SCALE: 1/4"=1'



2 RIGHT ELEVATION  
SCALE: 1/4"=1'

NOTE:  
CMU WALL WITH 3 5/8"  
BRICK FACADE  
TOTAL WIDTH 16' X 34' H

PLANS FOR:  
ASTURIAS DEVELOPMENT  
TRAVIS REDDEN  
38 SHADY DALE LANE  
ROCKWALL, TEXAS 75082

TITLE:  
SIDE ELEVATIONS

SHANNON NEWBOM MARK NEWBOM  
**CADAZIGN**  
ROYSE CITY, TEXAS 75189  
469-338-9863

DATE:  
6/16/2020

SCALE:  
AS SHOWN

SHEET:

**A-4**

PLANS FOR:  
**ASTURIAS DEVELOPMENT**  
**TRAVIS REDDEN**  
**38 SHADY DALE LANE**  
**ROCKWALL, TEXAS 75032**

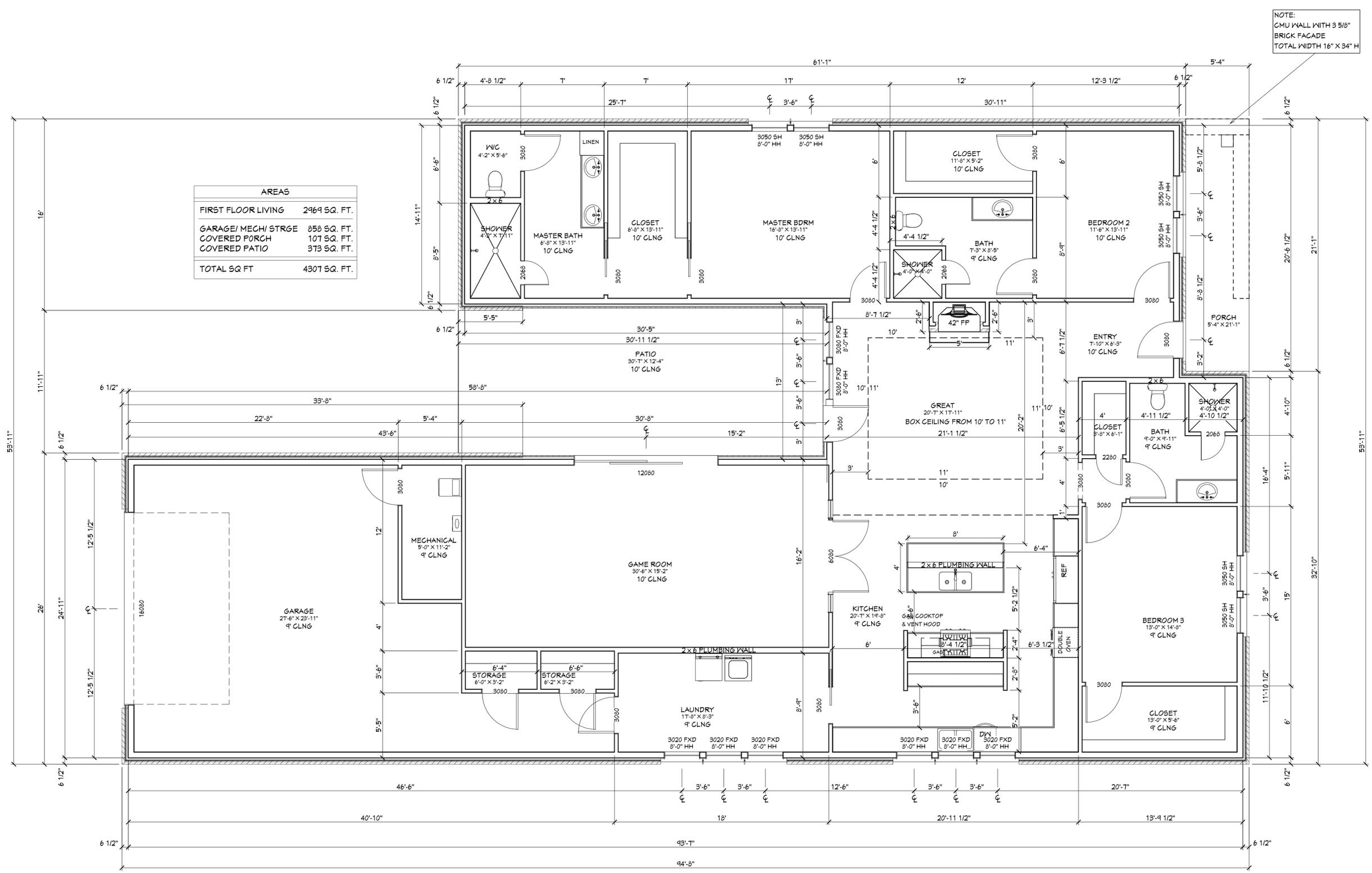
TITLE: **FLOOR PLAN W/ DIMENSIONS**

SHANNON NENSON MARK NENSON  
**CADAZIGN**  
 ROYSE CITY, TEXAS 75189  
 469-338-9863  
 DRAWN BY:

DATE:  
 6/16/2020

SCALE:  
 AS SHOWN

SHEET:  
**A-5**



AREAS	
FIRST FLOOR LIVING	2969 SQ. FT.
GARAGE/ MECH/ STRGE	858 SQ. FT.
COVERED PORCH	107 SQ. FT.
COVERED PATIO	373 SQ. FT.
<b>TOTAL SQ FT</b>	<b>4307 SQ. FT.</b>

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
2 Shadydale Lane	Single-Family Home	1985	2,845	N/A	Brick
3 Shadydale Lane	Single-Family Home	1968	2,686	720	Brick
4 Shadydale Lane	Single-Family Home	1982	2,490	80	Brick
5 Shadydale Lane	Single-Family Home	1969	2,424	1,152	Brick
6 Shadydale Lane	Single-Family Home	1970	1,353	120	Stucco
7 Shadydale Lane	Single-Family Home	1978	2,437	N/A	Brick
17 Shadydale Lane	Single-Family Home	2012	2,387	84	Brick
19 Shadydale Lane	Single-Family Home	1999	2,376	N/A	Brick
21 Shadydale Lane	Single-Family Home	1996	2,782	N/A	Brick
23 Shadydale Lane	Single-Family Home	1998	3,119	80	Brick
24 Shadydale Lane	Single-Family Home	1998	3,057	N/A	Brick
26 Shadydale Lane	Single-Family Home	2015	3,002	N/A	Stone
28 Shadydale Lane	Single-Family Home	2015	2,817	N/A	Brick
30 Shadydale Lane	Single-Family Home	2016	2,960	N/A	Brick
32 Shadydale Lane	Single-Family Home	2016	2,914	N/A	Brick
34 Shadydale Lane	Single-Family Home	2016	3,109	N/A	Brick
36 Shadydale Lane	Single-Family Home	2019	2,450	N/A	Brick
38 Shadydale Lane	RCAD Indicates Vacant			Subject Property	
40 Shadydale Lane	Single-Family Home	2018	3,372	N/A	Brick
42 Shadydale Lane	Single-Family Home	2015	3,132	N/A	Brick
44 Shadydale Lane	Single-Family Home	2015	3,113	N/A	Brick
46 Shadydale Lane	Single-Family Home	2014	3,138	N/A	Brick
48 Shadydale Lane	Single-Family Home	2014	3,449	N/A	Brick
50 Shadydale Lane	Single-Family Home	2014	3,155	N/A	Brick
Averages:		2002	2,807	373	



2 Shadydale Lane



3 Shadydale Lane



4 Shadydale Lane



5 Shadydale Lane



6 Shadydale Lane



7 Shadydale Lane



17 Shadydale Lane



19 Shadydale Lane



21 Shadydale Lane



23 Shadydale Lane



24 Shadydale Lane



26 Shadydale Lane



28 Shadydale Lane



30 Shadydale Lane



32 Shadydale Lane



34 Shadydale Lane



36 Shadydale Lane



38 Shadydale Lane



40 Shadydale Lane



42 Shadydale Lane



44 Shadydale Lane



46 Shadydale Lane



48 Shadydale Lane



50 Shadydale Lane

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.30-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK A, SHADYDALE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.30-acre parcel of land being described as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) [*Ordinance No. 13-43*] for single-family residential land uses, addressed as 38 Shadydale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 9 (PD-9) [*Ordinance No. 13-43*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 9 (PD-9) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 9 (PD-9) [Ordinance No. 13-43] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

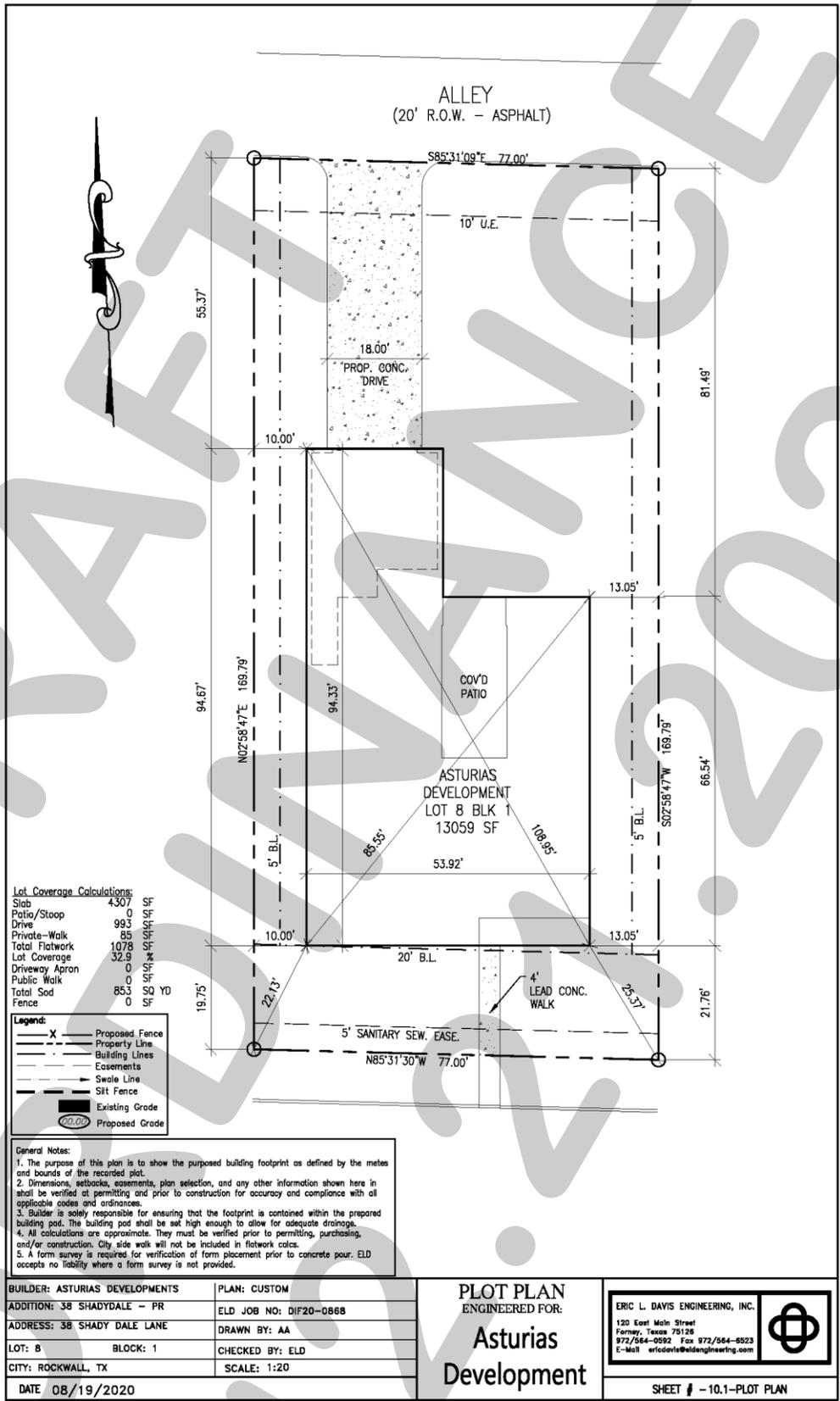
\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

Address: 38 Shadydale Lane  
Legal Description: Lot 8, Block A, Shadydale Estates Addition





**Lot Coverage Calculations:**

Slab	4307	SF
Patio/Stoop	0	SF
Drive	993	SF
Private-Walk	85	SF
Total Flatwork	1078	SF
Lot Coverage	32.9	%
Driveway Apron	0	SF
Public Walk	0	SF
Total Sod	853	SQ YD
Fence	0	SF

**Legend:**

-X-	Proposed Fence
---	Property Line
---	Building Lines
---	Easements
---	Swale Line
---	Silt Fence
---	Existing Grade
---	Proposed Grade

**General Notes:**

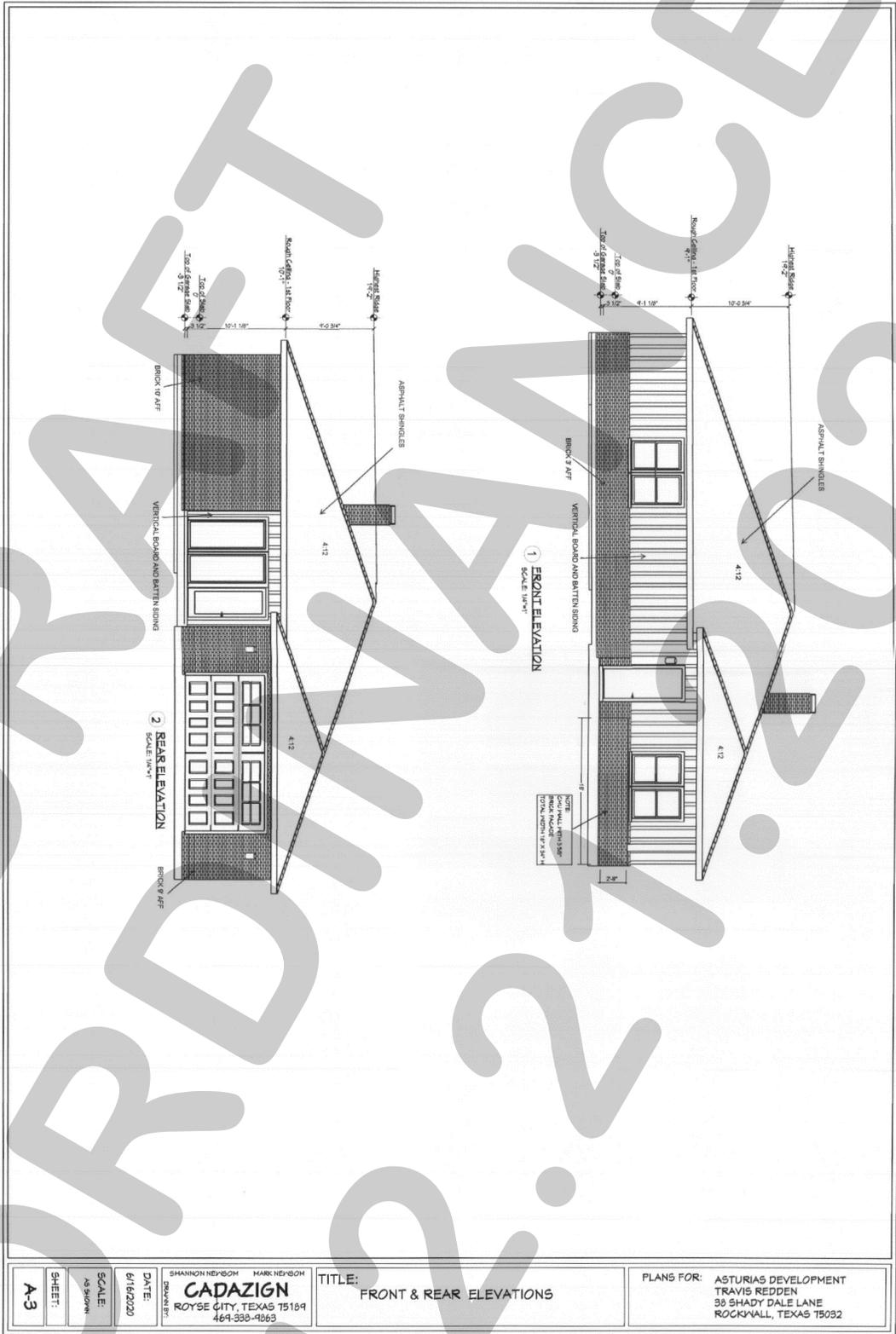
- The purpose of this plan is to show the proposed building footprint as defined by the metes and bounds of the recorded plat.
- Dimensions, setbacks, easements, plan selection, and any other information shown here in shall be verified at permitting and prior to construction for accuracy and compliance with all applicable codes and ordinances.
- Builder is solely responsible for ensuring that the footprint is contained within the prepared building pad. The building pad shall be set high enough to allow for adequate drainage.
- All calculations are approximate. They must be verified prior to permitting, purchasing, and/or construction. City side walk will not be included in flatwork calcs.
- A form survey is required for verification of form placement prior to concrete pour. ELD accepts no liability where a form survey is not provided.

<b>BUILDER:</b> ASTURIAS DEVELOPMENTS	<b>PLAN:</b> CUSTOM
<b>ADDITION:</b> 38 SHADYDALE -- PR	<b>ELD JOB NO:</b> DIF20-0868
<b>ADDRESS:</b> 38 SHADY DALE LANE	<b>DRAWN BY:</b> AA
<b>LOT:</b> 8 <b>BLOCK:</b> 1	<b>CHECKED BY:</b> ELD
<b>CITY:</b> ROCKWALL, TX	<b>SCALE:</b> 1:20
<b>DATE:</b> 08/19/2020	

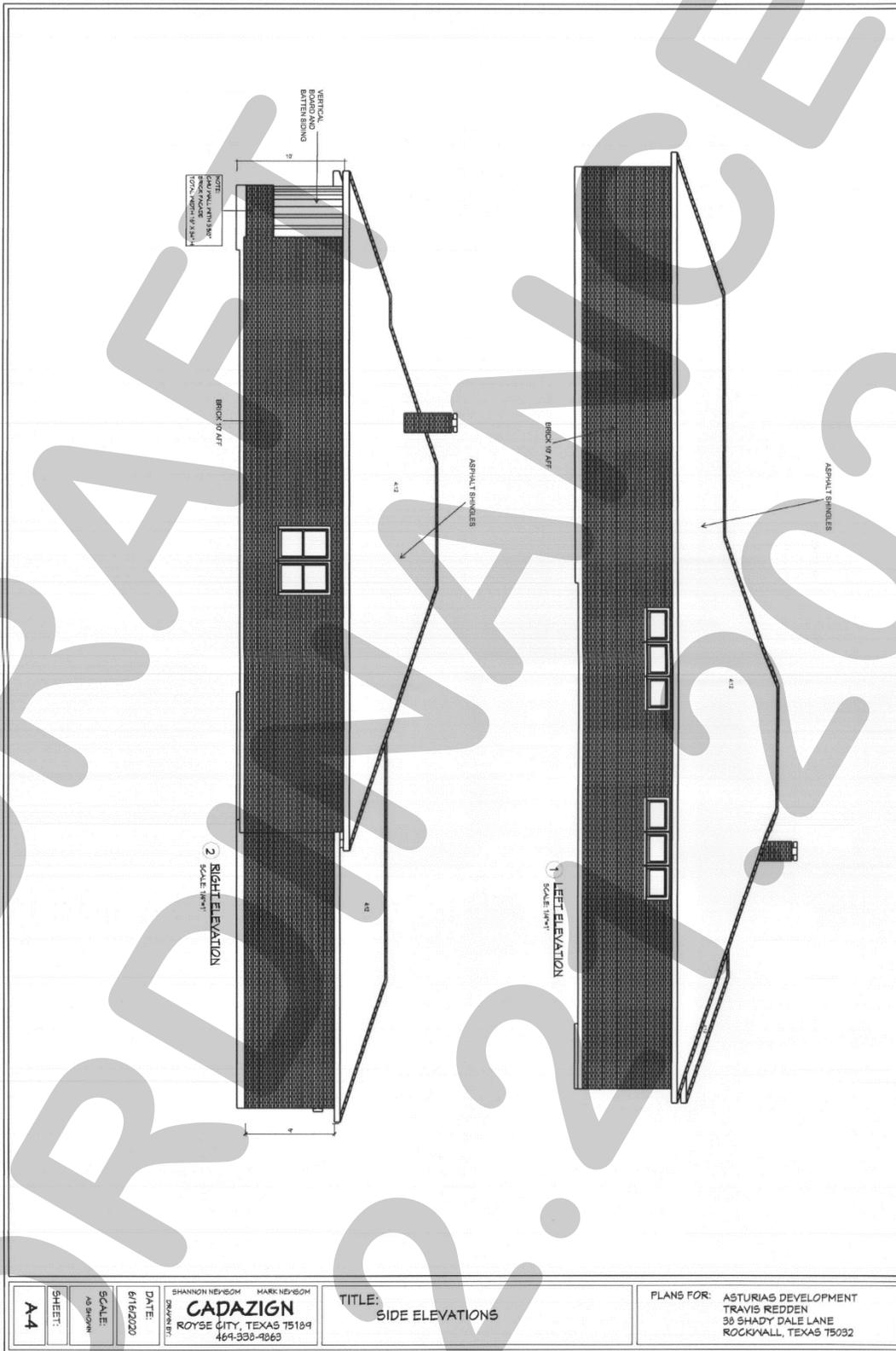
**PLOT PLAN**  
ENGINEERED FOR:  
**Asturias**  
**Development**

<b>ERIC L. DAVIS ENGINEERING, INC.</b> 120 East Main Street Ferryway, Texas 75126 972/564-0592 Fax 972/564-8523 E-mail: eric@eladavisengineering.com	
<b>SHEET # - 10.1 - PLOT PLAN</b>	

DRAFT 21-2020



SHEET: <b>A-3</b>	SCALE: AS SHOWN	DATE: 6/16/2020	DRAWN BY: SHANNON NEVISON    MARK NEVISON <b>CADAZIGN</b> ROYSE CITY, TEXAS 75184 469-538-9863	TITLE: <b>FRONT &amp; REAR ELEVATIONS</b>	PLANS FOR: ASTURIAS DEVELOPMENT TRAVIS REDDEN 38 SHADY DALE LANE ROCKWALL, TEXAS 75082
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## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-052; ZONING CHANGE FROM AGRICULTURAL (AG) DISTRICT TO COMMERCIAL (C) DISTRICT FOR 5651 SH-276

---

### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Property Owner Notification Map  
Property Owner Notification List  
Public Notice  
Applicant's Letter  
Legal Description  
Survey  
Concept Plan  
Permitted Use Charts for the Commercial (C) District  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of an ordinance for a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve or [2] deny the zoning change.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council

**DATE:** December 21, 2020

**APPLICANT:** Thomas Jones; *Tomden Engineering, LLP*

**CASE NUMBER:** Z2020-052; *Zoning Change from Agricultural (AG) District to Commercial (C) District for 5651 SH-276*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

### BACKGROUND

The subject property is a 3.94-acre parcel of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22. The subject property was annexed into the City of Rockwall on December 22, 2008 by *Ordinance No. 08-65*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD) a 10,100 SF metal building and 420 SF canopy were constructed on the property in 2003, and another 10,000 SF metal building was constructed in 2006. On March 1, 2012, the City issued a remodel permit [BLD2012-0041] for both buildings, and on April 26, 2012 the City issued a Certificate of Occupancy (CO) for *Rockwall Friendship Baptist Church*. There has no other construction or permitting activity on the subject property since the CO was issued.

### PURPOSE

On November 13, 2020, the applicant -- *Thomas Jones of Tomden Engineering, LLP* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Commercial (C) District for the purpose of facilitating an expansion of the *Church/House of Worship* land use.

### ADJACENT LAND USES AND ACCESS

The subject property is located at 5651 SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the corporate limits of the City of Rockwall. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 60.72-acre tract of land (*i.e. Tract 8-01 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. Beyond this are several large tracts of vacant land zoned Agricultural (AG) District.

East: Directly east of the subject property are four (4) developed parcels of land (*i.e. Tracts 1-5, 1-6, 1-7 & 1-9 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. Beyond this are two (2) large vacant tracts of land (*i.e. Tract 4 & 10-1 of the J. R. Marrs Survey, Abstract No. 152*) zoned Agricultural (AG) District. Beyond this is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is a 11.85-acre vacant tract of land (i.e. *Tract 1-1 of the J. H. Bailey Survey, Abstract No. 22*) zoned Commercial (C) District. Beyond this are three (3) single-family homes on three (3) tract of land (i.e. *Tract 1-2, 1-3 & 1-4 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. West of this is a 30.00-acre vacant parcel of land (i.e. *Tract 1 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. Beyond this is Zollner Road, which is identified as a M4U (i.e. *major, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

## **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting to rezone the 3.94-acre subject property from an Agricultural (AG) District to a Commercial (C) District for the purpose of expanding the current *Church/House of Worship*. Based on the concept plan provided by the applicant, the existing *Church/House of Worship* is proposing to construct a 3,500 SF addition and increase the parking capacity on the subject property to accommodate the new and existing improvements. In addition, all existing parking areas will be upgraded to concrete. When the applicant approached staff about the expansion, staff explained to the applicant that, since the *Church/House of Worship* land use is not a permitted *by-right* land use in the Agricultural (AG) District, the church could [1] apply to the Board of Adjustments (BOA) to allow for the expansion of a legally non-conforming land use, [2] apply for a Specific Use Permit (SUP) to bring the land use into conformance with the requirements of the Agricultural (AG) District, or [3] rezone the property to a Commercial (C) District in conformance with the *Future Land Use Map*. Staff also explained to the applicant that since the church indicated a future expansion on their concept plan, rezoning the subject property to a Commercial (C) District -- *which allows the Church/House of Worship land use by-right* -- would best way to facilitate this plan. This is because the other two (2) methods (i.e. *Board of Adjustments [BOA] request or Specific Use Permit [SUP]*) would require subsequent discretionary applications to be submitted to either the Board of Adjustments (BOA) or the Planning and Zoning Commission and City Council. Regardless, all methods would require the approval of a site plan prior to a building permit.

## **INFRASTRUCTURE**

Based on the applicant's submittal the following infrastructure will be required to be installed with the proposed improvements depicted on the concept plan:

Water Improvements: The Master Water Plan indicates that the subject property is located within Water Service Area 780 which is not currently serviced by the City of Rockwall. This service area is currently being served by the Blackland Water Supply Corporation (WSC). As a result, the applicant will be required to contact Blackland WSC in order to determine if the property can be serviced, and if sufficient flow can be provided for fire service.

Wastewater Improvements: The Master Wastewater Plan indicates that there is no wastewater infrastructure in the vicinity of the subject property. There are no immediate plans for the City to install infrastructure in this area, and, *as a result*, the applicant will need to provide an On-Site Sewage Facility (OSSF) meeting Rockwall County's standards.

Stormwater Improvements: On-site detention will be required to accommodate any increases in stormwater runoff when the proposed future development occurs.

Roadways: According to the Master Thoroughfare Plan, SH-276 is indicated as a TXDOT6D (i.e. *Texas Department of Transportation, six [6] lane, divided roadway*), which requires a minimum of 120-foot right-of-way and no on-street parking. The applicant will be required to dedicate all portions of the subject property that are within 60-feet of the centerline of SH-276 at the time the subject property is platted.

All proposed infrastructure improvements must meet the Engineering Department's *Standards of Design and Construction Manual*.

## **CONFORMANCE WITH THE CITY'S CODES**

When developed the subject property will be required to conform to all requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and City adopted engineering and fire codes. Staff will review for conformance to these requirements at the time of site plan.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the South Central Estates District and is designated for Quasi-Public (QP) land uses. The South Central Estates District indicates that all the land surrounding the subject property is designated for Commercial/Retail or Technology/Employment Center land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District, is in conformance with the South Central Estates District and the proposed land use does not necessitate a change to the Future Land Use Map designation for the subject property from the Quasi-Public (QP) designation.

## **NOTIFICATIONS**

On November 18, 2020, staff notified 13 property owners and occupants within 500-feet of the subject property. There are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant's request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to rezone the subject property from an *Agricultural (AG) District* to a *Commercial (C) District*, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2020-052

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup> \$259.10
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 5651 SH 276

Subdivision UNPLATTED

Lot

Block

General Location S. SIDE SH 276 JUST EAST OF SOUTHERN DRIVE

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use CHURCH / WAREHOUSE

Proposed Zoning C - COMMERCIAL

Proposed Use CHURCH

Acreage 3.94

Lots [Current]

1

Lots [Proposed]

1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB316Z the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ROCKWALL FRIENDSHIP BAPTIST CHURCH

Applicant TOMDEN ENGINEERING, LLP

Contact Person SHANON THOMAS

Contact Person THOMAS JONES

Address 5651 SH 276

Address 5815 MEADOWCREST

City, State & Zip ROYSE CITY TX 75189

City, State & Zip DAVAS TX 75230

Phone 469.338.8151

Phone 214.679.1679

E-Mail STHOMAS@ROCKWALLFBC.ORG

E-Mail TJONES@TOMDEN.COM

## NOTARY VERIFICATION [REQUIRED]

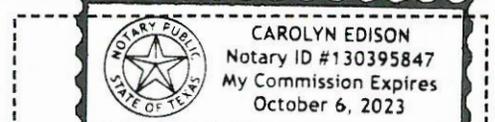
Before me, the undersigned authority, on this day personally appeared Shanon Thomas [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 259.10, to cover the cost of this application, has been paid to the City of Rockwall on this the 10<sup>th</sup> day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

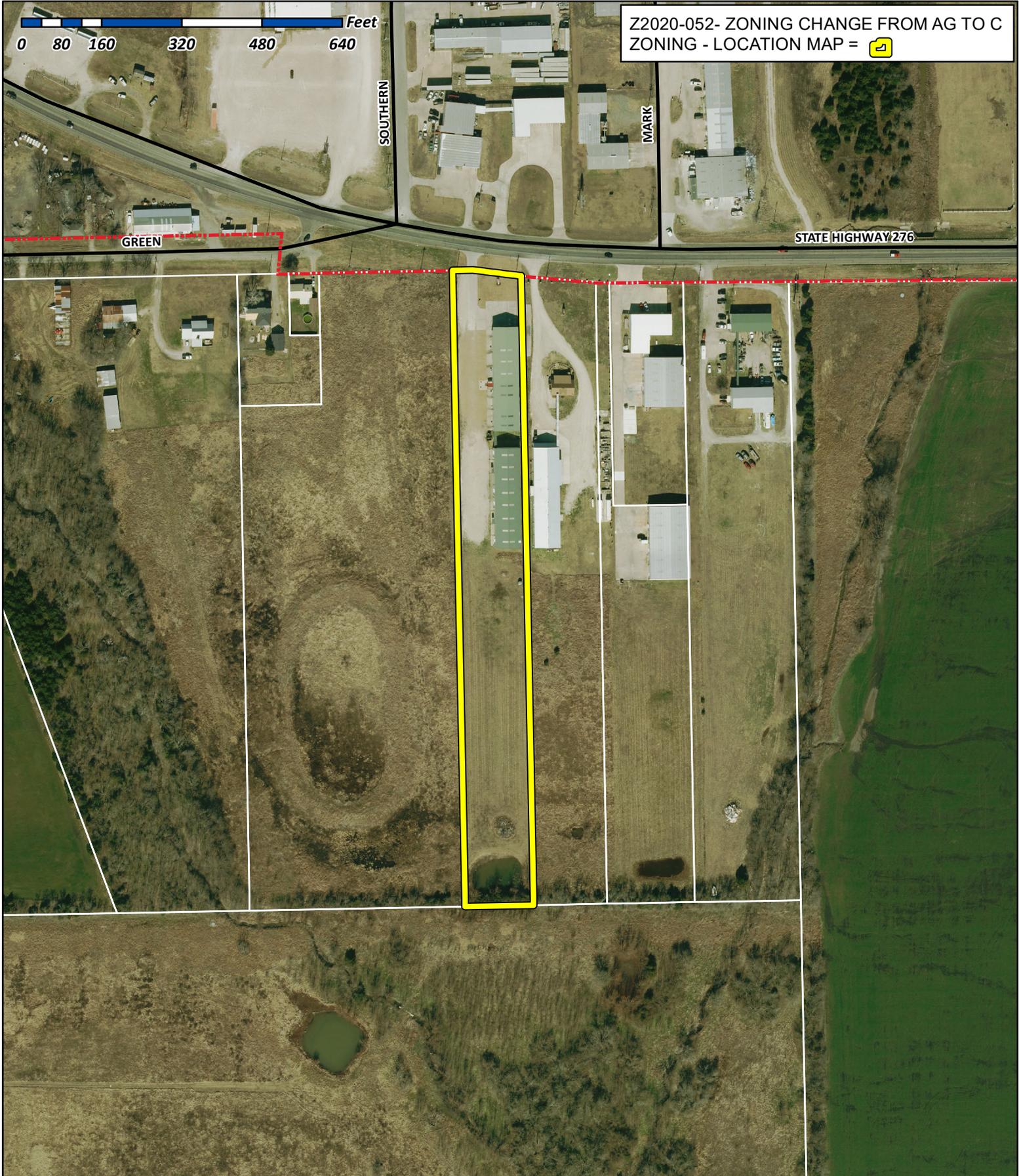
Given under my hand and seal of office on this the 10<sup>th</sup> day of November, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires October 6, 2023



Z2020-052- ZONING CHANGE FROM AG TO C  
 ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

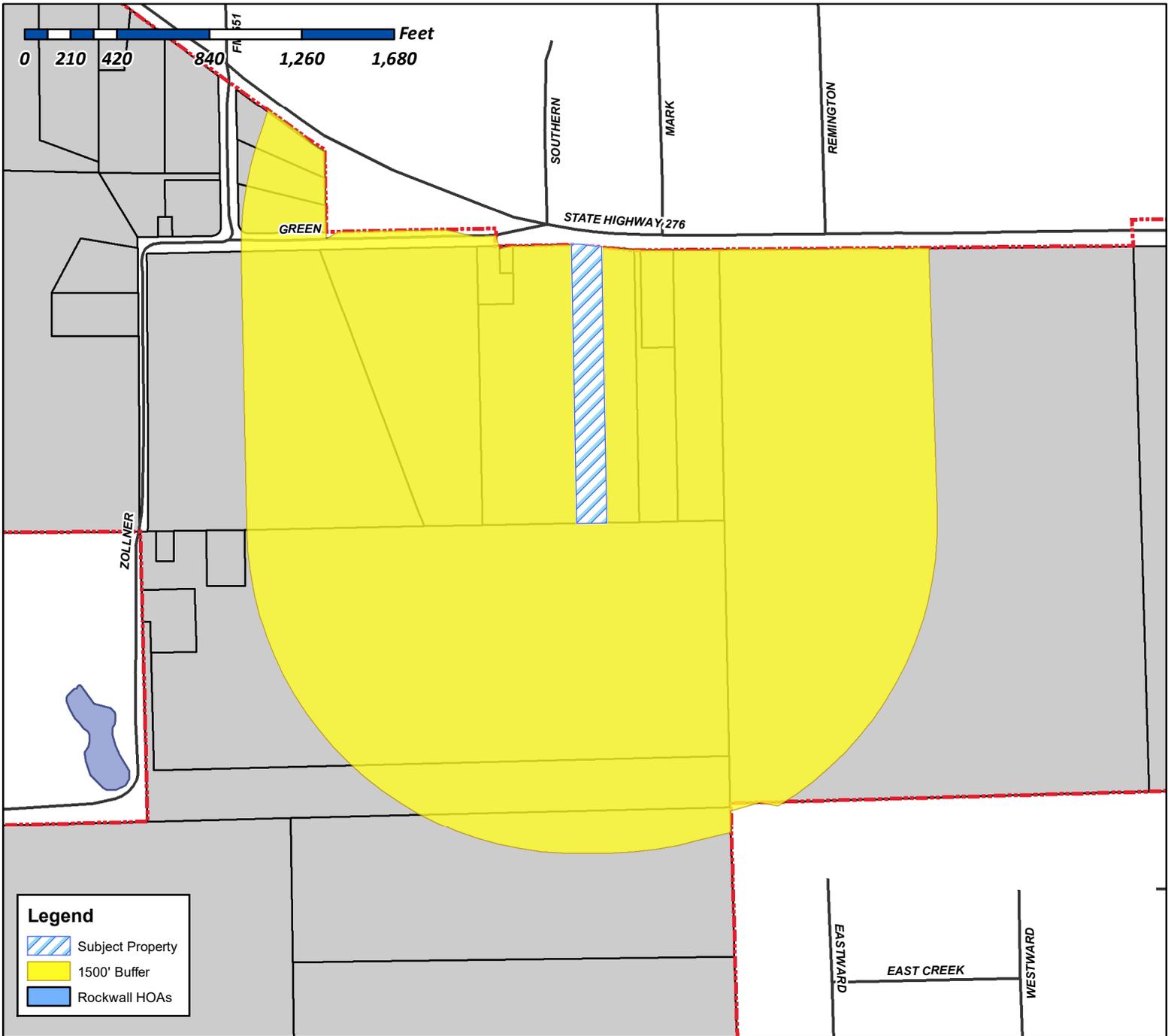




# City of Rockwall

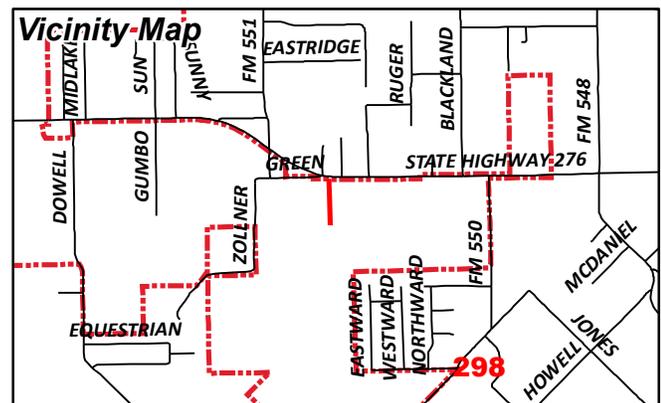
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-052  
**Case Name:** Zoning Change from AG to C  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 5651 State Highway 276

**Date Created:** 11/13/2020  
 For Questions on this Case Call (972) 771-7745

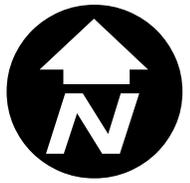




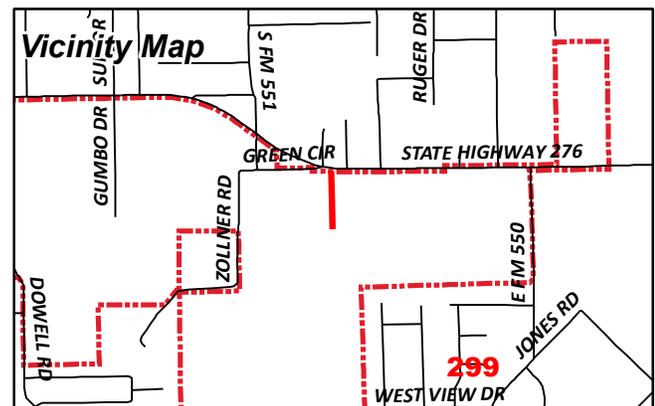
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Date Created:** 11/13/2020  
 For Questions on this Case Call (972) 771-7745

JIMENEZ TOMAS  
4930 CREEKRIDGE LANE  
GARLAND, TX 75043

THOMPSON JAMES  
ZOLLNERRD  
ROCKWALL, TX 75087

LIMON LORENZO & MARIANA  
2305 STANFORD ST  
GREENVILLE, TX 75401

ENRIQUEZ MARIA AND UBALDO  
450 GREEN CIRCLE  
ROYSE CITY, TX 75189

LIMON LORENZO & MARIANA  
490 GREEN CR  
ROCKWALL, TX 75087

VALDESPINO JUAN R & MARGARITA  
506 GREEN CIRCLE  
ROYSE CITY, TX 75189

JIMENEZ TOMAS  
4930 CREEKRIDGE LANE  
5651 GREENCIR  
ROCKWALL, TX 75087

MULLEN ADVENTURES LLC  
5677 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

JAY & PAM PROPERTIES LLC  
5707 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

SIGN OF QUALITY LLC  
5707 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

HASHERT TERRY  
5751 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

THOMPSON JAMES  
811 TRINIDAD PL  
MIDLAND, TX 79705

ASBURY MICHAEL & LEAANN  
PO BOX 1012  
ROCKWALL, TX 75087

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-052: Zoning Change from AG to C**

*Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-052: Zoning Change from AG to C**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Thomas P. Jones, P.E.

Tomden Engineering, L.L.P.  
5815 Meadowcrest  
Dallas, Tx 75230  
[tjones@tomden.com](mailto:tjones@tomden.com)

November 11, 2020

Mr. Ryan Miller, AICP  
Director of Planning and Zoning  
City of Rockwall

Re: Rockwall Friendship Baptist Church  
Zoning Letter of Explanation

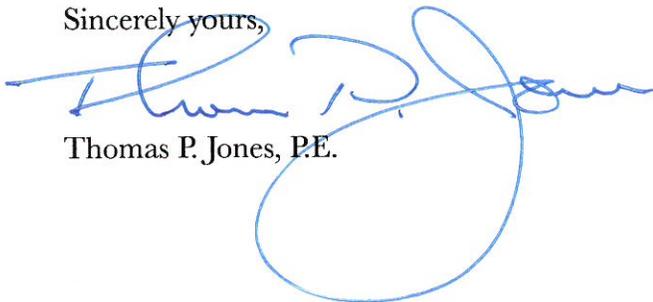
Dear Mr. Miller

Rockwall Friendship Baptist Church has purchased the property at 5651 SH 276 with the intent to expand their facilities on the site and construct a 3500 sf addition on the property. As a part of this process, the Church proposes to change the zoning on the property from Ag (agricultural) to C (commercial) in which the religious use is allowed by right.

A Survey of the 3.94 acre tract and Architectural Site Plan have been included with this Zoning Request.

We look forward to staff review and a favorable action at P&Z and Council. Please call or email me with any questions you may have.

Sincerely yours,

A handwritten signature in blue ink, appearing to read 'Thomas P. Jones', with a large, stylized flourish underneath.

Thomas P. Jones, P.E.

cc: Pastor Shanon Thomas

Mr. Dirk Dalhausser, Goff Companies

Mr. Josh Heimbach, OWT Architects

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

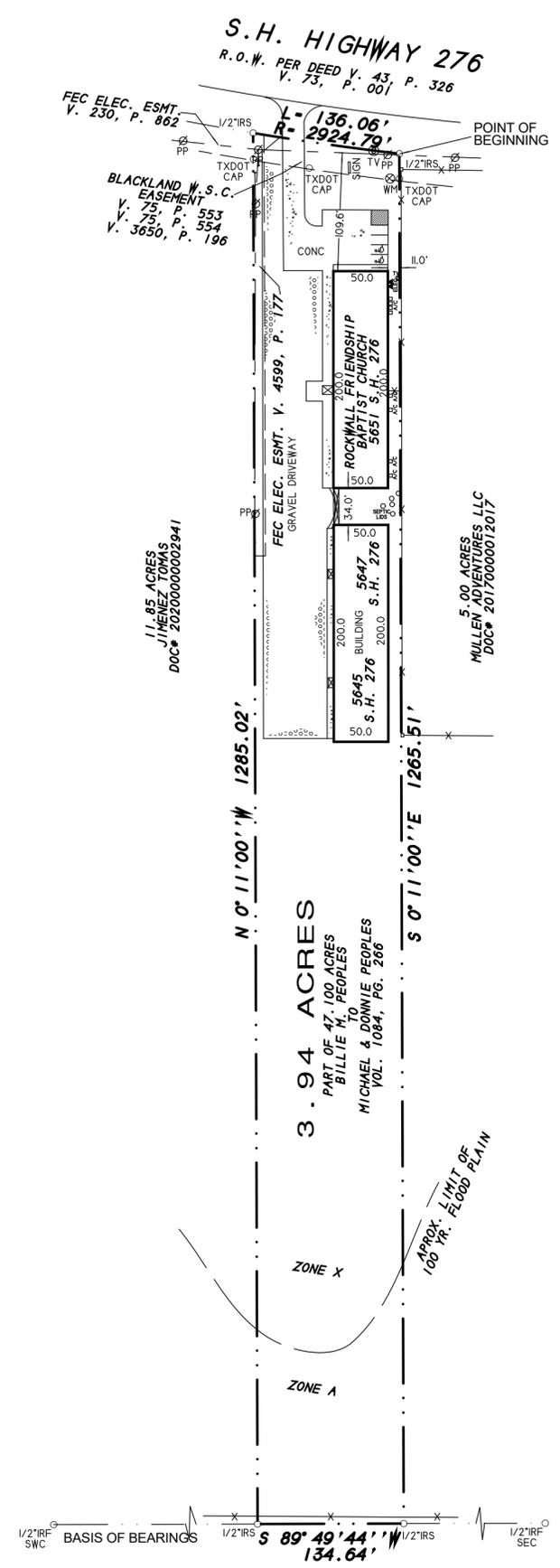
BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;

THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South line of said tract;

THENCE S. 89 deg. 49 min. 44 sec. W. along the South line of said tract, a distance of 134.64 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner;

THENCE N. 00 deg. 11 min. 00 sec. W. a distance of 1285.02 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South right-of-way line of State Highway 276 and in the North boundary line of said 47.10 acres tract;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.



SURVEY ACCEPTED BY: \_\_\_\_\_  
 DATE \_\_\_\_\_  
 DATE \_\_\_\_\_

**DESCRIPTION**

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

- BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;
- THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South line of said tract;
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- THENCE N. 00 deg. 11 min. 00 sec. W. a distance of 1285.02 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South right-of-way line of State Highway 276 and in the North boundary line of said 47.10 acres tract;
- THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.

**NOTES**

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0065 L dated Sept. 26, 2008, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: BASED ON MONUMENTS FOUND ON SOUTH BOUNDARY LINE OF PARENT TRACT PER RECORDED DEED IN VOL. 0084, PG. 266, R.P.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

**SURVEYOR'S CERTIFICATE**

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Rockwall Friendship Baptist Church at 5651 State Highway No. 276, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 31st day of August, 2020.

*Harold D. Fetty III*  
 Harold D. Fetty III, R.P.L.S. No. 5034



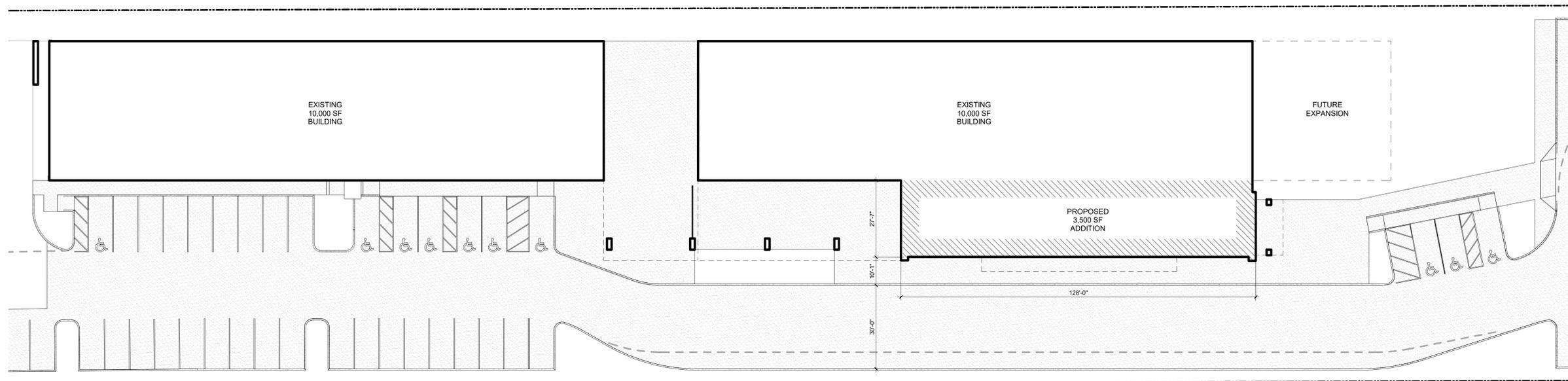
SYMBOL LEGEND	
TV	TELEVISION CABLE RIDER
GAS	GAS METER
TEL	TEL. METER
FI	FIRE HYDRANT
PP	POWER POLE
EE	ELECTRIC METER
EB	ELECTRIC SUBSURFACE JUNCTION BOX
NO	NO. 10 LIGHT VOLE
LP	LP GAS FOUN. CORNER
1/2"	1/2" IRON ROD FOUND
3/8"	3/8" IRON ROD FOUND
4"	4" WOOD CORNER
A/C	A/C UNIT
PRO	PROPANE TANK
---	ESSENTIAL LINE
---	BOUNDARY LINE
---	FENCE

**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 10150900  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

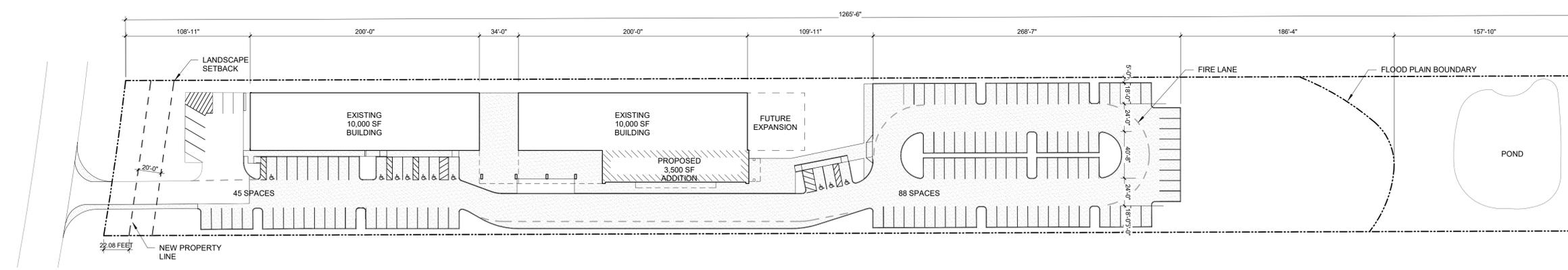
SURVEY DATE AUGUST 31, 2020  
 SCALE 1" = 100' FILE # 2020/98729-5  
 CLIENT REFC GF # NONE

OCTOBER 29, 2020

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**SITE PLAN | 2**  
SCALE: 1" = 20'-0" A1.00



**SITE PLAN | 1**  
SCALE: 1" = 50'-0" A1.00

Revision Schedule		
Rev. #	Revision Description	Revision Date

**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL FRIENDSHIP**  
5651 TC-276  
ROYSE CITY, TX 75189

2020-013-00  
OCTOBER 29, 2020

SITE PLAN

**A1.00**

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
College, University, or Seminary	<a href="#">(5)</a>		S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P
Office Building less than 5,000 SF	<a href="#">(2)</a>		P
Office Building 5,000 SF or Greater	<a href="#">(2)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	

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## PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13,</a> <a href="#">Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04,</a> <a href="#">Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	P
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>		S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		P
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Antique/Collectible Store	<a href="#">(1)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(2)</a>		P
Banquet Facility/Event Hall	<a href="#">(3)</a>		P
Portable Beverage Service Facility	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Brew Pub	<a href="#">(5)</a>		P
Business School	<a href="#">(6)</a>		P
Catering Service	<a href="#">(7)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(8)</a>	<a href="#">(2)</a>	P
Copy Center	<a href="#">(9)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(10)</a>	<a href="#">(3)</a>	S
Incidental Display	<a href="#">(11)</a>	<a href="#">(4)</a>	P
Food Trucks/Trailers	<a href="#">(12)</a>	<a href="#">(5)</a>	P
Garden Supply/Plant Nursery	<a href="#">(13)</a>		P
General Personal Service	<a href="#">(14)</a>	<a href="#">(6)</a>	P
General Retail Store	<a href="#">(15)</a>		P
Hair Salon and/or Manicurist	<a href="#">(16)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(17)</a>		P
Self Service Laundromat	<a href="#">(18)</a>		P
Massage Therapist	<a href="#">(19)</a>		P
Private Museum or Art Gallery	<a href="#">(20)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(21)</a>		P
Pawn Shop	<a href="#">(22)</a>		S
Permanent Cosmetics	<a href="#">(23)</a>	<a href="#">(7)</a>	A
Pet Shop	<a href="#">(24)</a>		P
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P

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## PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Rental Store without Outside Storage and/or Display	<a href="#">(26)</a>	<a href="#">(8)</a>	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(27)</a>	<a href="#">(9)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(28)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(27)</a>	<a href="#">(10)</a>	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(28)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(29)</a>		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(29)</a>		P
Secondhand Dealer	<a href="#">(30)</a>		P
Art, Photography, or Music Studio	<a href="#">(31)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(32)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Bail Bond Service	<a href="#">(1)</a>		S
Building and Landscape Material with Limited Outside Storage	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">(3)</a>		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Furniture Upholstery/Refinishing and Resale	<a href="#">(8)</a>	<a href="#">(4)</a>	S
Rental, Sales and Service of Heavy Machinery and Equipment	<a href="#">(10)</a>	<a href="#">(5)</a>	S
Locksmith	<a href="#">(11)</a>		P
Research and Technology or Light Assembly	<a href="#">(15)</a>		S
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Trade School	<a href="#">(17)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Minor Auto repair garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Automobile Rental	<a href="#">(3)</a>		S
New or Used Boat and Trailer Dealership	<a href="#">(4)</a>	<a href="#">(3)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	<a href="#">(6)</a>	<a href="#">(5)</a>	S
New Motor Vehicle Dealership-for Cars and Light Trucks	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Used Motor Vehicle Dealership for Cars and Light Trucks}	<a href="#">(7)</a>	<a href="#">(7)</a>	A
Commercial Parking	<a href="#">(8)</a>		P
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Recreational Vehicle (RV) Sales and Service	<a href="#">(10)</a>		S
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	<b>2.02(I)</b>	<b>2.03(I)</b>	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>WHOLESALE, DISTRIBUTION AND STORAGE LAND USES</b>	<b>2.02(J)</b>	<b>2.03(J)</b>	

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Mini-Warehouse	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Wholesale Showroom Facility	<a href="#">(8)</a>		S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	P
Commercial Antenna	<a href="#">(3)</a>	<a href="#">(2)</a>	S
Antenna for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A
Commercial Freestanding Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	S
Mounted Commercial Antenna	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		P
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 3.94-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-8 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 22, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Thomas Jones of Tomden Engineering, LLP for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Agricultural (AG) District to a Commercial (C) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

Legal Description: Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22



All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;

THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. R.PLS 5034" for corner in the South line of said tract;

THENCE S. 89 deg. 49 min. 44 sec. W. along the South line of said tract, a distance of 134.64 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner;

THENCE N. 00 deg. 11 min. 00 sec. W. a distance of 1285.02 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South right-of-way line of State Highway 276 and in the North boundary line of said 47.10 acres tract;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.



## MEMORANDUM

---

**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-053; ZONING CHANGE (LI TO PD) FOR CHANNELL COMMERCIAL CORPORATION

---

### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Property Owner Notification Map  
Property Owner Notification List  
Concept Plan  
Amphitheater Elevations  
Pavilion Elevations  
Landscape Plan  
Concept Rendering  
Building Elevations  
Line of Sight Study  
Building Rendering  
Canopy Elevations  
Photometric Plan  
Site Rendering  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of an ordinance for a *Zoning Change* from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the zoning change.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** December 21, 2020  
**APPLICANT:** David Meinhardt; *Meinhardt & Associates, PLLC*  
**CASE NUMBER:** Z2020-053; *Zoning Change (LI to PD) for Channell Commercial Corporation*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-25 (Case No. A1974-005)*. Based on the May 7, 1993 historic zoning maps, between the time of annexation and May 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District. On March 17, 2014 the City Council approved a final plat (*Case No. P2014-008*) establishing Lot 1, Block A and Lot 1, Block B, Channell Subdivision. This request was made by the Rockwall Economic Development Corporation (REDC) to help facilitate the relocation of the corporate headquarter for the Channell Commercial Corporation to the City of Rockwall. The Channell Commercial Corporation is a manufacturing company that provides communication/fiber products to the telecommunications industry. On July 8, 2014, the Planning and Zoning Commission approved a site plan (*Case No. SP2014-011*) for a 225,910 SF manufacturing and office building on the 18.762-acre subject property. This approval was followed by subsequent approvals associated with the site plan from the City Council on July 21, 2014 that included variances to the parking, building materials, and light pole height requirements, and a special exception to allow tilt wall construction. On September 17, 2014, the City Council approved a replat (*Case No. P2014-038*) of the subject property establishing the easements necessary for the construction of the proposed 225,910 SF industrial facility. A building permit (*Permit No. BLD2014-1600*) for this building was issued by the Building Inspection Department on November 21, 2014, and a Certificate of Occupancy (CO) for the building was issued on April 12, 2016.

An amendment to the approved site plan (*Case No. SP2014-011*) was approved by the City Council on May 16, 2016. This amended the approved site plan to allow an alternative landscape plan, and allowed the applicant to defer the installation of the landscaping along John King Boulevard until after the Texas Department of Transportation (TXDOT) assumed responsibility for John King Boulevard. A subsequent site plan (*Case No.'s SP2019-021 [withdrawn] and SP2019-045*) -- which was approved on December 10, 2019 -- established screening for the outside storage areas on the north side of the existing building, realigned the western drive aisle, and laid out additional parking areas. A final amended site plan (*Case No. SP2020-011*) was submitted and approved by the Planning and Zoning Commission on July 14, 2020. This site plan proposed additional screening standards for the outside storage areas adjacent to Justin Road and the incorporation of an eight (8) foot concrete wall adjacent to Justin Road.

More recently, William Channell Jr.-- the President and Chief Operating Officer of Channell Commercial Corporation -- approached staff about expanding the facility to create a corporate campus. As part of this request, Mr. Channell indicated that the proposed expansion would include an additional ~55,760 SF building, an amphitheater, and pavilion. Based on staff's conversations with Mr. Channell it was determined that the best way to facilitate this request was through a Planned Development District.

## PURPOSE

On November 13, 2020, the applicant -- *David Meinhardt of Meinhardt & Associates, LLP*-- submitted an application requesting to change the zoning of the subject property from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses. More specifically, the purpose of the application is to facilitate a campus style, industrial development that incorporates elements that fall outside of the requirements of the Light Industrial (LI) District.

## ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1700 Justin Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a ~231,768 SF industrial building (*i.e. Graham Packaging PET Technologies, Inc.*) -- constructed in 1991 -- on a 12.1915-acre parcel of land (*i.e. Rockwall Industrial East Addition*) zoned Light Industrial (LI) District. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland N. E. Railroad*. North of this right-of-way is the City's Service Center, which is situated on a ten (10) acre parcel of land (*i.e. Lot 1 of the Rockwall Service Center & Park Addition*) zoned Light Industrial (LI) District. Adjacent to this is the Leon Tuttle Athletic Complex, which is situated on a 20-acre parcel of land (*i.e. Lot 2 of the Rockwall Service Center & Park Addition*) zoned Light Industrial (LI) District.

South: Directly south of the subject property is Justin Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 15.554-acre parcel of vacant land (*i.e. Lot 1, Block B, Channell Subdivision*) and a 25.719-acre tract of vacant land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*). Both of these properties are zoned Light Industrial (LI) District.

East: Directly east of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is a 4.108-acre tract of vacant land (*i.e. Tract 2-7 of the D. Harr Survey, Abstract No. 102*) owned by the City of Rockwall and zoned Agricultural (AG) District. East of this is a 6.034-acre tract of vacant land (*i.e. Tract 2-4 of the D. Harr Survey, Abstract No. 102*) zoned Light Industrial (LI) District.

West: Directly west of the subject property is a ~231,768 SF industrial building (*i.e. Graham Packaging PET Technologies, Inc.*) -- constructed in 1991 -- on a 12.1915-acre parcel of land (*i.e. Rockwall Industrial East Addition*) zoned Light Industrial (LI) District. Also, west of the subject property is Industrial Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a ~175,875 SF industrial building (*i.e. SPR Packaging*) -- constructed in 2007 -- on a 10.1893-acre parcel of land (*i.e. Lot 2, Block A, SPR Packaging Addition*) zoned Light Industrial (LI) District.

## CHARACTERISTICS OF THE REQUEST

According to Subsection 01.01, *Purpose*, of Article 11, *Planned Development Regulations*, of the Unified Development Code (UDC), "PD Districts are intended to implement the goals and objectives of the City's Comprehensive Plan ... PD Districts are also intended to encourage flexible and creative planning, to ensure the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes: [1] To provide for superior design of lots or buildings; [2] To provide for increased recreation and/or open space opportunities for public use; {and} [3] To provide amenities or features that would be of special benefit to the property users or community; ..." In this case, the applicant is proposing to incorporate an amphitheater and pavilion adjacent to John King Boulevard, construct an additional ~55,760 SF industrial building adjacent to the existing ~225,910 SF corporate headquarters/manufacturing building, and install canopies in the courtyard, parking areas and over the amphitheater. Due to the size and range of the proposed amenity that the applicant is proposing to incorporate into the overall campus design, staff found that the request could be best regulated through a Planned Development District. If approved, this tool would allow the applicant a flexible approval process that would allow the project to be built within his stated timelines, while still providing the City with the necessary oversight for the development to ensure that the public's interest is being served. The Planned

Development District ordinance -- *contained in the attached packet* -- establishes a base zoning of Light Industrial (LI) District, which is the same as the subject property's current zoning; however, a couple of additional requirements were added to allow the applicant the same flexibilities that have been approved through previous site plans (*i.e. the location of the eight [8] foot smooth finished concrete walls along Justin Road*) and changes to accommodate the proposed pavilion and amphitheater. These requirements are detailed below in the *Conformance to the City's Codes* section of this case memo. In addition, staff has outlined how the proposed changes conform to the goals and objectives of the Comprehensive Plan in the *Conformance with the OURHometown Vision 2040 Comprehensive Plan* section below.

## **INFRASTRUCTURE**

Based on the applicant's concept plan no new additional public infrastructure will be required; however, a small portion of the subject property -- *at the corner of Justin Road and Industrial Boulevard* -- will require detention.

## **CONFORMANCE TO THE CITY'S CODES**

The proposed Planned Development District conforms to the majority of the City's code requirements. Staff should note that the proposed concept plan, building elevations, and landscape plan adhere to the previous site plan, variance, and special exception approvals, which waived some of the code requirements and established a specific aesthetic for the subject property. The applicant's plans maintain this aesthetic, and as a result do not increase the sites non-conformity; however, the proposed Planned Development District does deviate from the requirements of the Unified Development Code (UDC) in the following ways:

- (1) John King Boulevard Setback Requirements. The SH-205 By-Pass Overlay (SH-205 BY OV) District establishes a 50-foot building setback for all industrial, office, and technology land uses adjacent to John King Boulevard [*Subsection 06.02(D); Article 05; UDC*]. The proposed Planned Development District ordinance would reduce this setback to 20-feet.

Applicant's Response: In this case, the reduction in setback is to accommodate the proposed outdoor amphitheater and its appurtenances (*i.e. masonry walls and canopy support structure*), which will be situated approximately 25-feet from the front property line. The applicant has pointed out that [1] no enclosed buildings are proposed to be located within the current 50-foot building setback, and [2] the overlay district does allow commercial/retail buildings to be located within 15-feet of the front property line adjacent to John King Boulevard. Staff should also point out that the proposed pavilion would be constructed beyond the current 50-foot building setback, and only the amphitheater would encroach the current building setback.

- (2) Justin Road Setback Requirements. Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), stipulates that the front yard building setback for all properties in a Light Industrial (LI) District be a minimum of ~25-feet. The proposed Planned Development District ordinance would reduce this setback to ten (10) feet.

- (3) Front Yard Fences for Non-Residential Properties. According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(n)o fence shall be constructed in the front yard of a non-residential property without being granted an exception from the Planning and Zoning Commission." This section goes on to stipulated that front yard fences should be constructed with wrought iron or another permitted non-transparent fencing, and that fences should not be opaque. The proposed Planned Development District ordinance would allow an eight (8) foot smooth finished concrete wall be situated within the front yard along both Justin Road and portions of John King Boulevard.

Applicant's Response to (2) & (3): This is being requested for the purpose of allowing the same eight (8) foot smooth finish concrete walls in roughly the same location along Justin Road as was approved by the Planning and Zoning Commission with *Case No. SP2020-011*.

- (4) Site Plan Review. Section 03, *Site Plans*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), requires: [1] all new buildings proposed in the City of Rockwall, [2] expansions to existing buildings that increases the floor area by 30% or 2,000 SF, and/or [3] expansions of existing pervious space by 30% or 2,000 SF be required to go through the site plan approval process. In most cases where a site plan is required the Planning

and Zoning Commission is the approving authority with regard to site plan approval, variances, and special exceptions (*with the City Council acting only as an appeals board*). In addition, all new buildings require a recommendation from the Architectural Review Board (ARB) prior to action on the site plan by the Planning and Zoning Commission. The proposed Planned Development District ordinance would allow the Director of Planning and Zoning the ability to review the submitted materials, and determine if they conform to the exhibits in the proposed Planned Development District ordinance. If it is determined that the exhibits do conform to the ordinance, then the site plan may be reviewed and approved administratively by staff. If it is determined that the exhibits do not conform, then the Planning and Zoning Commission would be the approving body for a site plan.

Applicant's Response: The applicant has requested this consideration to provide the project with flexibility when moving through the approval process. The applicant currently has a timeline that he would like to adhere to and is requesting the ability to have administrative approval for site plan submittals to help them meet their anticipated completion dates.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is designated for Technology/Employment Center land uses on the Future Land Use Plan. The current land use (*i.e. a corporate office/industrial/manufacturing facility*) is in conformance with this designation and the district strategies outlined for the Central District. In addition, the proposed changes do not change the subject property's conformance with the Comprehensive Plan.

In addition, the proposed changes to the subject property help further the following goals and objectives contained in the OURHometown Vision 2040 Comprehensive Plan:

- (1) CH. 07 / Goal 02: Create distinctive destinations built around the City's existing assets that invite people into the community and encourage social interaction ... [*Policy 1*] Explore opportunities to incorporate public open spaces into commercial and industrial developments.
- (2) CH. 07 / Goal 05: Allow only high-quality buildings that are constructed for the long-term value of the community, are easily adaptable to the changing market conditions, and that reflect a sense of permanence and public pride ... [*Policy 1*] All building should be architecturally significant, reflecting characteristics of the community.
- (3) CH. 08 / Goal 01: All non-residential developments should create distinctive destinations that further a sense of place and will attract people to the community ... [*Policy 3*] Developments should be encouraged to incorporate a mix of land uses. This is especially vital adjacent to the City's major roadways (*i.e. IH-30, Ridge Road, Goliad Street and John King Boulevard*).
- (4) CH. 08 / Goal 03: All non-residential buildings should be designed so that negative visual impacts of the development are minimized ... [*Policy 1*] Large industrial developments should utilize a campus design style (*i.e. utilizing green spaces adjacent to roadways, incorporating pedestrian scale elements throughout the development, assimilating functional green spaces into the development, using traditional architecture characteristics, etc.*) to further the small-town, park-like feeling that is characteristic of the City of Rockwall.

In this case, the campus style design that the applicant is proposing allows more intense aspects of the business to be shielded from the adjacent roadways and softens the look of the building from John King Boulevard. Based on this, the applicant's proposal appears to be in substantial conformance to many of the policies and goals that relate to industrial/technology developments; however, a request for a Planned Development District ordinance is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On November 18, 2020, staff mailed 13 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOA's) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised

the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices concerning the applicant's request.

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to rezone the subject property from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance;
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On December 8, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the zoning change by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING # \_\_\_\_\_ PLANNING CASE NO. 22020-053

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>

Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>

Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>

Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>

Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>

PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

Tree Removal (\$75.00)

Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address: 1700 JUSTIN ROAD

Subdivision: CHANNELL SUBDIVISION Lot: 3 Block: A

General Location: NORTHWEST CORNER OF JUSTIN ROAD & JOHN KING BLVD.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: LIGHT INDUSTRIAL Current Use: LIGHT INDUSTRIAL

Proposed Zoning: SAME Proposed Use: SAME

Acreage: 18.762 Lots [Current]: 1 Lots [Proposed]: 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>CHANNELL CORPORATION</u>	<input type="checkbox"/> Applicant	<u>MEINHARDT &amp; ASSOC. ARCH.</u>
Contact Person	<u>MR. ED BURKE</u>	Contact Person	<u>DAVID MEINHARDT</u>
Address	<u>1700 JUSTIN ROAD</u>	Address	<u>14643 DALLAS PARKWAY</u> <u>SUITE 636</u>
City, State & Zip	<u>ROCKWALL, TEXAS, 75087</u>	City, State & Zip	<u>DALLAS, TEXAS 75254</u>
Phone	<u>951-587-7884</u>	Phone	<u>972-934-5406</u>
E-Mail	<u>eburke@channell.com</u>	E-Mail	<u>dmeinhardt@m-aarchi.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared DAVID MEINHARDT [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 481.43, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of NOVEMBER, 20 20.

Owner's Signature: [Signature]

Notary Public in and for the State of Texas: [Signature]





# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

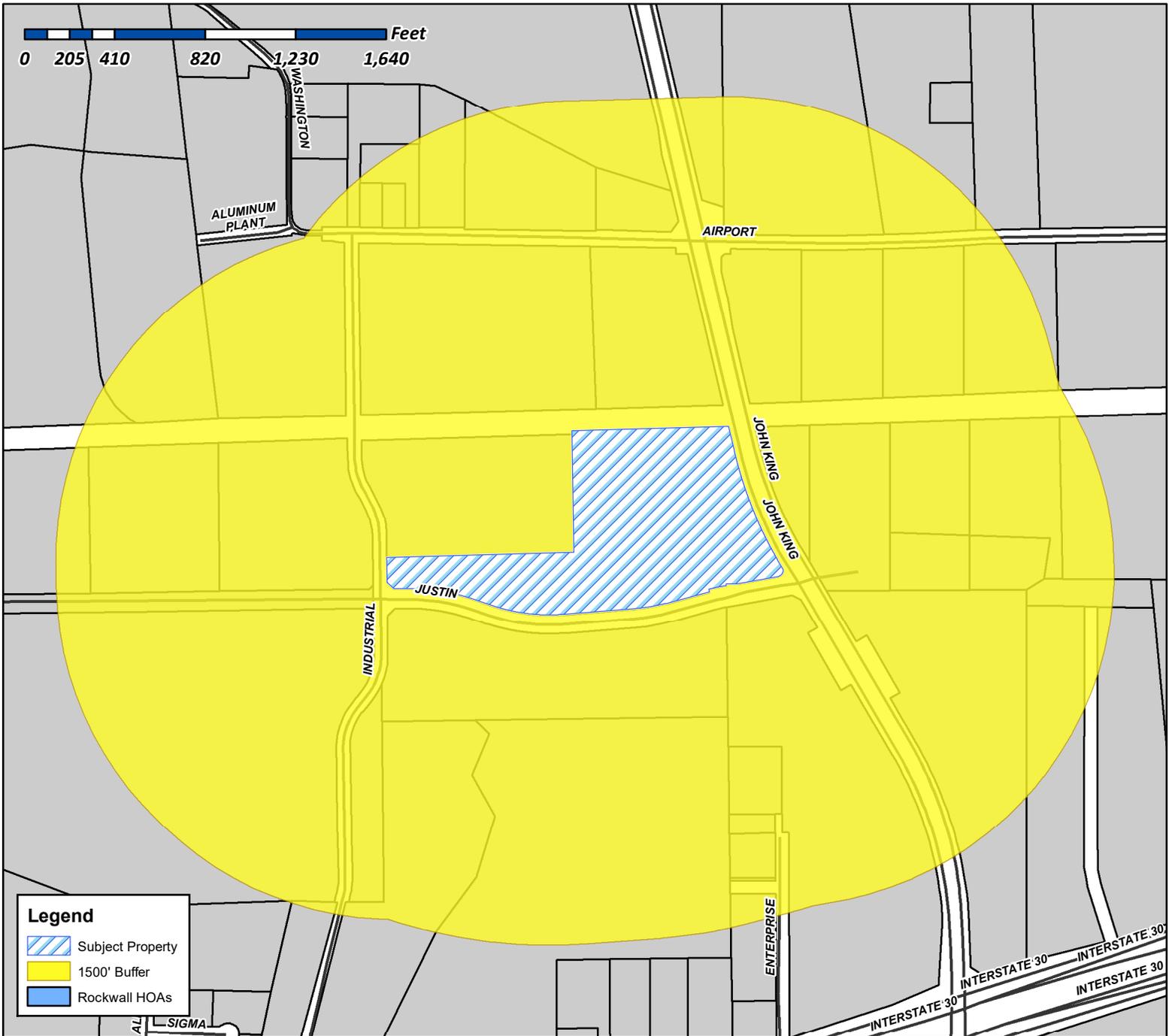
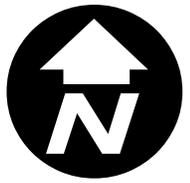




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-053  
**Case Name:** Zoning Change from LI to PD  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1700 Justin Road

**Date Created:** 11/13/2020  
 For Questions on this Case Call (972) 771-7745

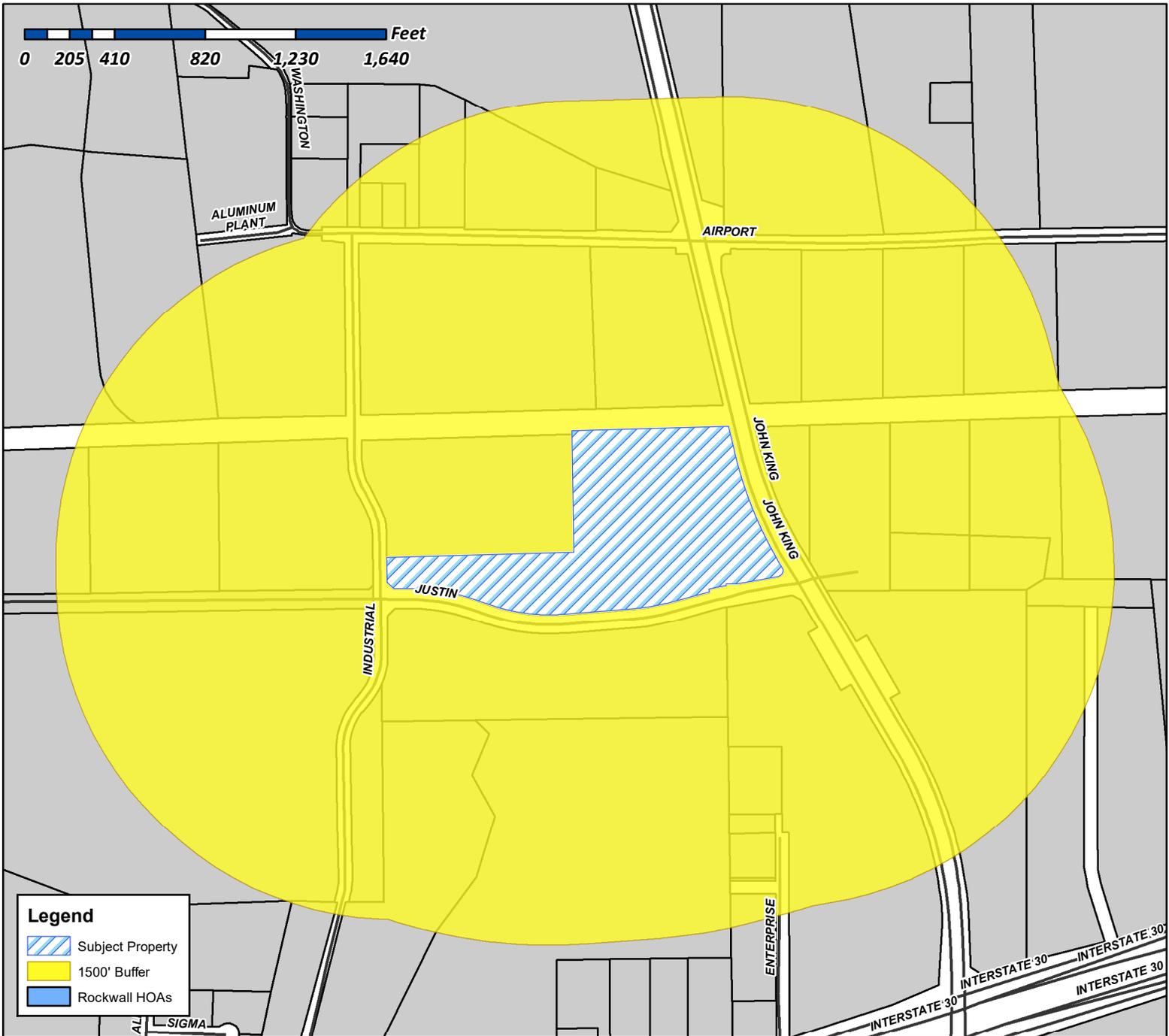




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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 For Questions on this Case Call (972) 771-7745



SMARTT LOFLAND & J BOND PTNRS  
1 CARMARTHEN CT  
DALLAS, TX 75225

SARO PARTNERS LLC  
1450 T L TOWNSEND  
ROCKWALL, TX 75032

ALVAPLAST US DEVELOPMENT LLC  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087

WILLCAR HOLDINGS LLC  
ATTN: WILLIAM H CHANNELL JR  
1700 JUSTINRD  
ROCKWALL, TX 75087

ROCKWALL FRIENDSHIP BAPTIST CHURCH  
REV SHANON THOMAS, PASTOR  
1820 JUSTINRD  
ROCKWALL, TX 75087

TEMUNOVIC PARTNERSHIP LTD  
3021 RIDGE RD SUITE A57  
ROCKWALL, TX 75032

BACKWARDS L LLC  
3333 MILLER PARK SOUTH  
GARLAND, TX 75042

ROCKWALL FRIENDSHIP BAPTIST CHURCH  
REV SHANON THOMAS, PASTOR  
5651 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

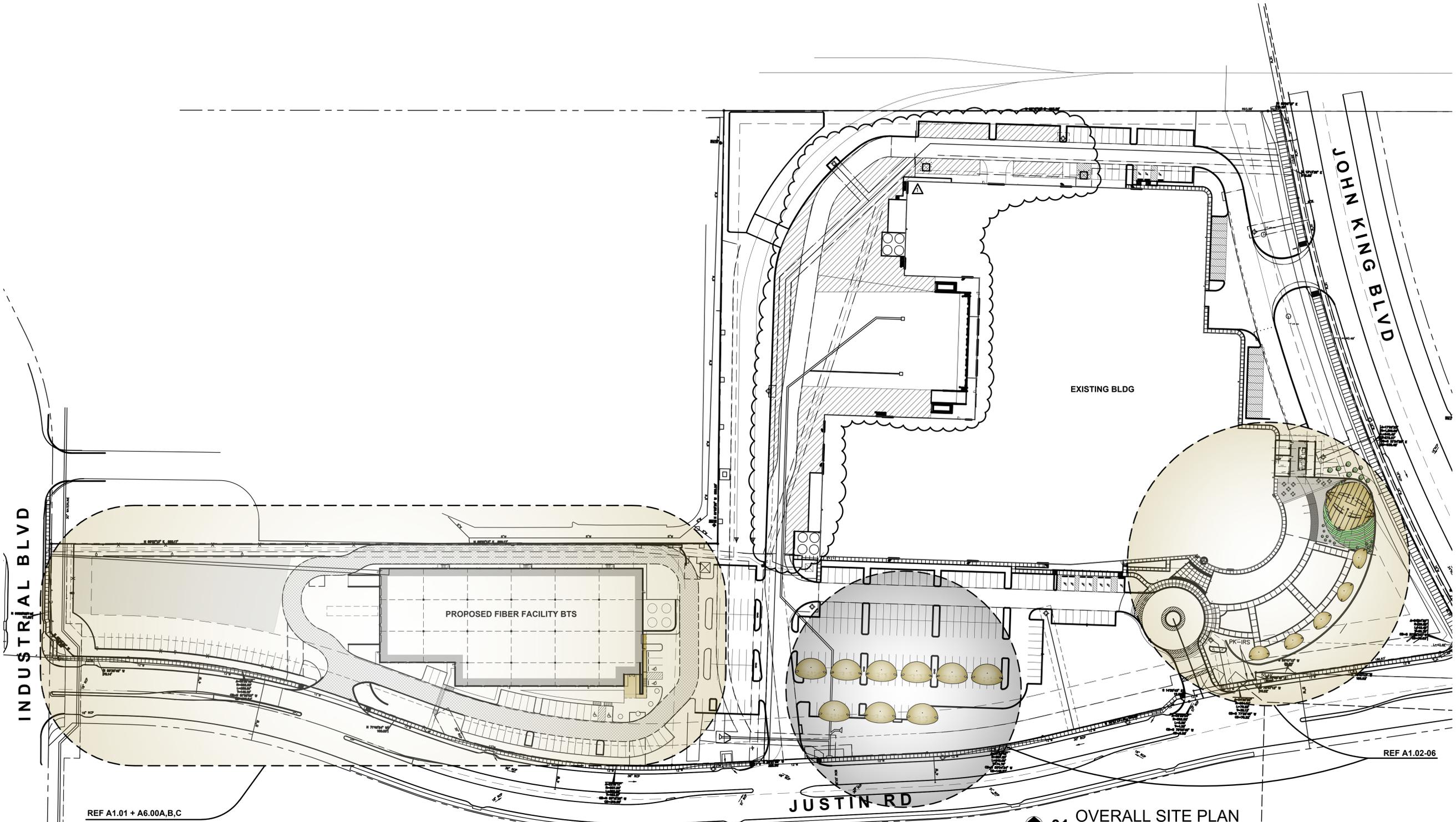
CONTINENTAL PET TECHNOLOGY  
%GRAHAM PACKAGING PET TECH INC  
700 INDIAN SPRINGS DR STE 100  
LANCASTER, PA 17601

WILLCAR HOLDINGS LLC  
ATTN: WILLIAM H CHANNELL JR  
P O BOX 9022  
TEMECULA, CA 92589

ATHEY JACKIE R  
P.O. BOX 219  
LAVON, TX 75166

ROCKWALL STEEL CO INC  
PO BOX 729  
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

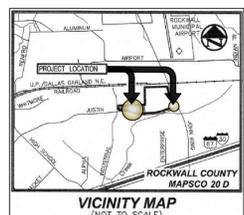


REF A1.01 + A6.00A,B,C

REF A1.02-06

**01 OVERALL SITE PLAN**  
SCALE: 1" = 60'-0"  
0 30 60 120 180  
GRAPHIC SCALE IN FEET

**SITE DATA**  
PROPOSED LAND USE = INDUSTRIAL  
PROPERTY BOUNDARY = 817,294 SF | 18.762 AC  
PERIMETER BOUNDARY = 2073'-10 1/2" LENGTH  
BUILDING FOOTPRINT = 55,760 SF + 817,294 SF = 6.8% LOT COVERAGE



**OWNER | DEVELOPER**  
CHANNELL  
26040 YNEZ ROAD | P.O. BOX 9022  
TEMECULA, CA-USA 92589-9022  
951-719-2600  
@channelljr | bchannelljr@gmail.com

CASE # Z2020-053

**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

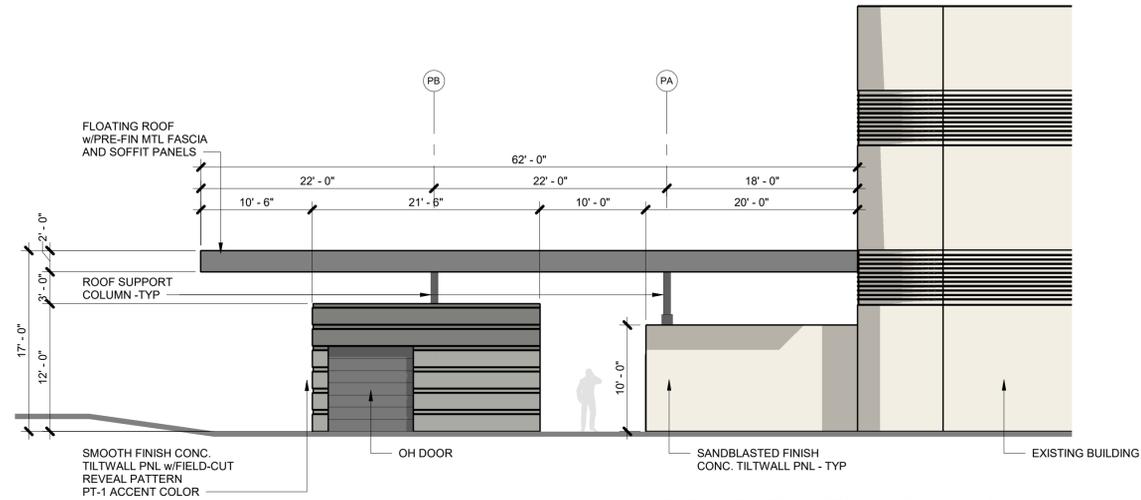
**MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.**  
1840 DALLAS PARKWAY  
SUITE 600  
DALLAS TEXAS 75244  
972.960.9880



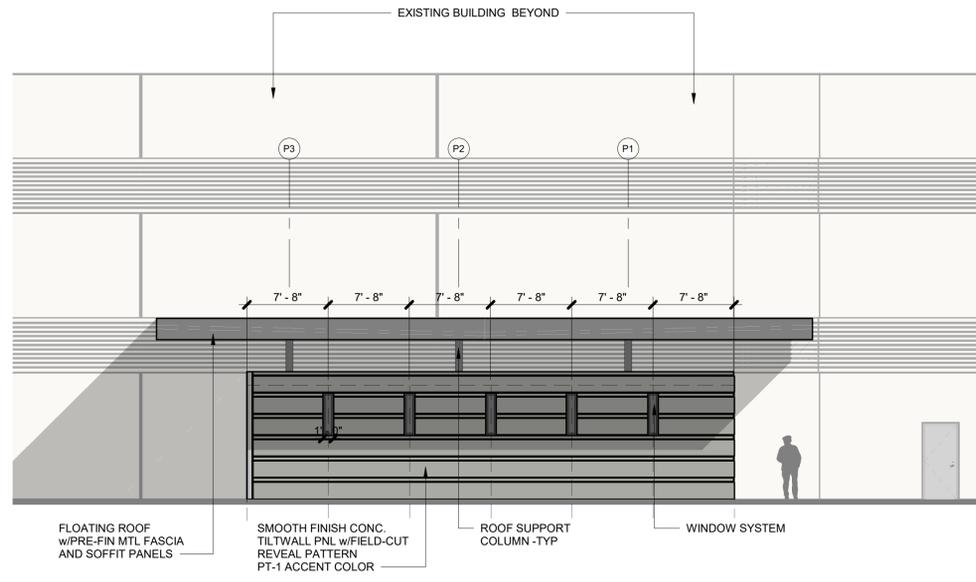
PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: SITE PLAN

**A1.00**

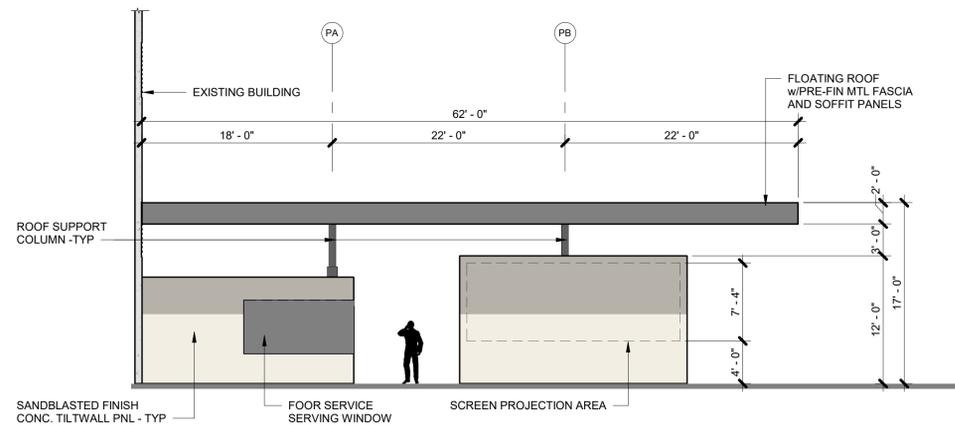




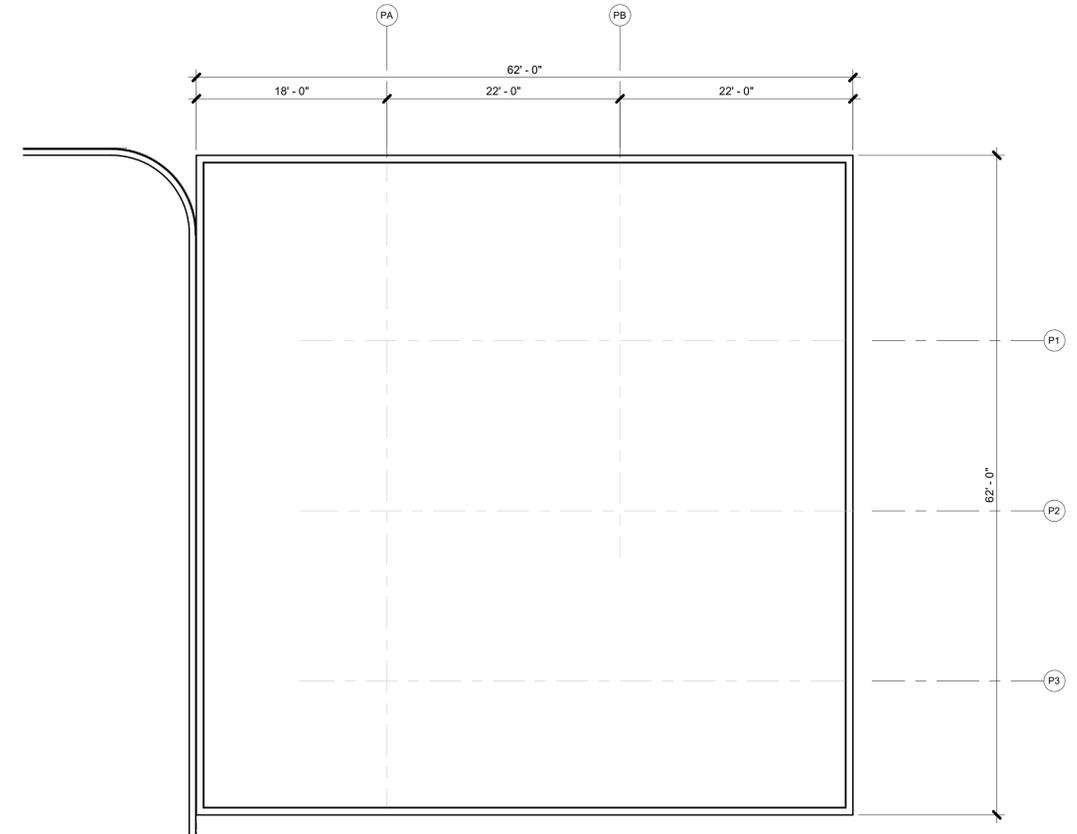
**05 NORTH ELEVATION PAVILION**  
SCALE: 1/8" = 1'-0"



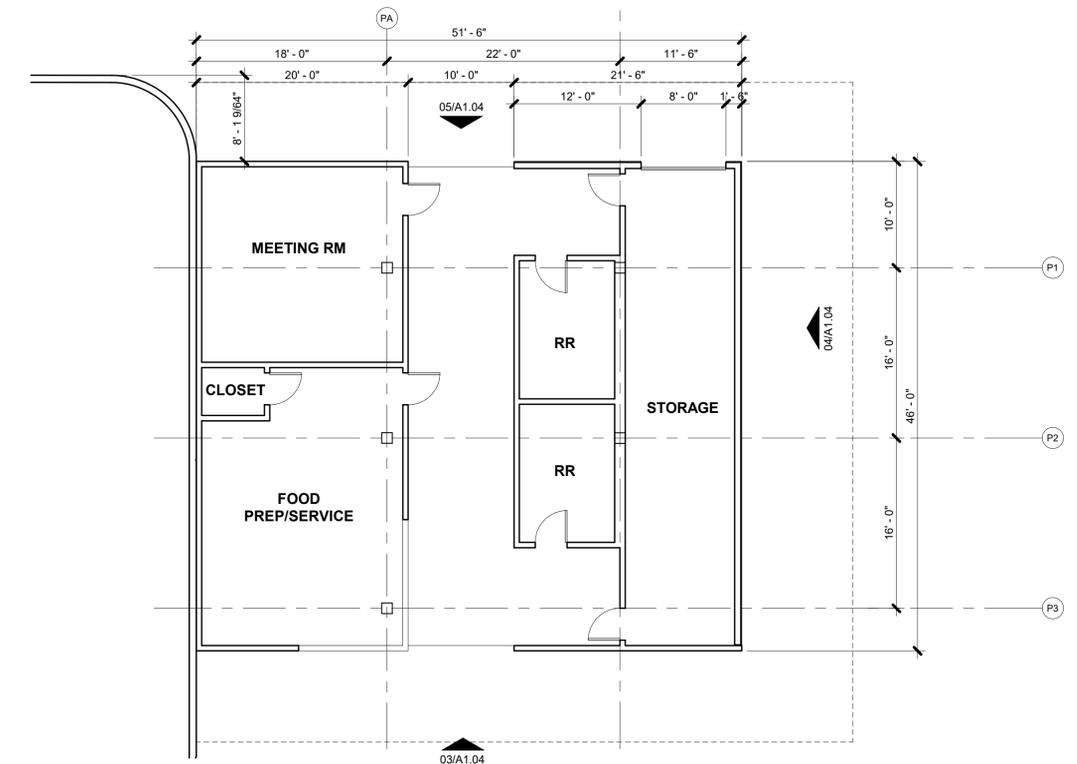
**04 EAST ELEVATION PAVILION**  
SCALE: 1/8" = 1'-0"



**03 SOUTH ELEVATION PAVILION**  
SCALE: 1/8" = 1'-0"



**02 PAVILION ROOF**  
SCALE: 1/8" = 1'-0"  
TRUE 32° PLAN



**01 PAVILION PLAN**  
SCALE: 1/8" = 1'-0"  
TRUE 32° PLAN

**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

**MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.**  
1100 DALLAS PARKWAY  
SUITE 400  
DALLAS TEXAS 75244  
P.O. BOX 4000

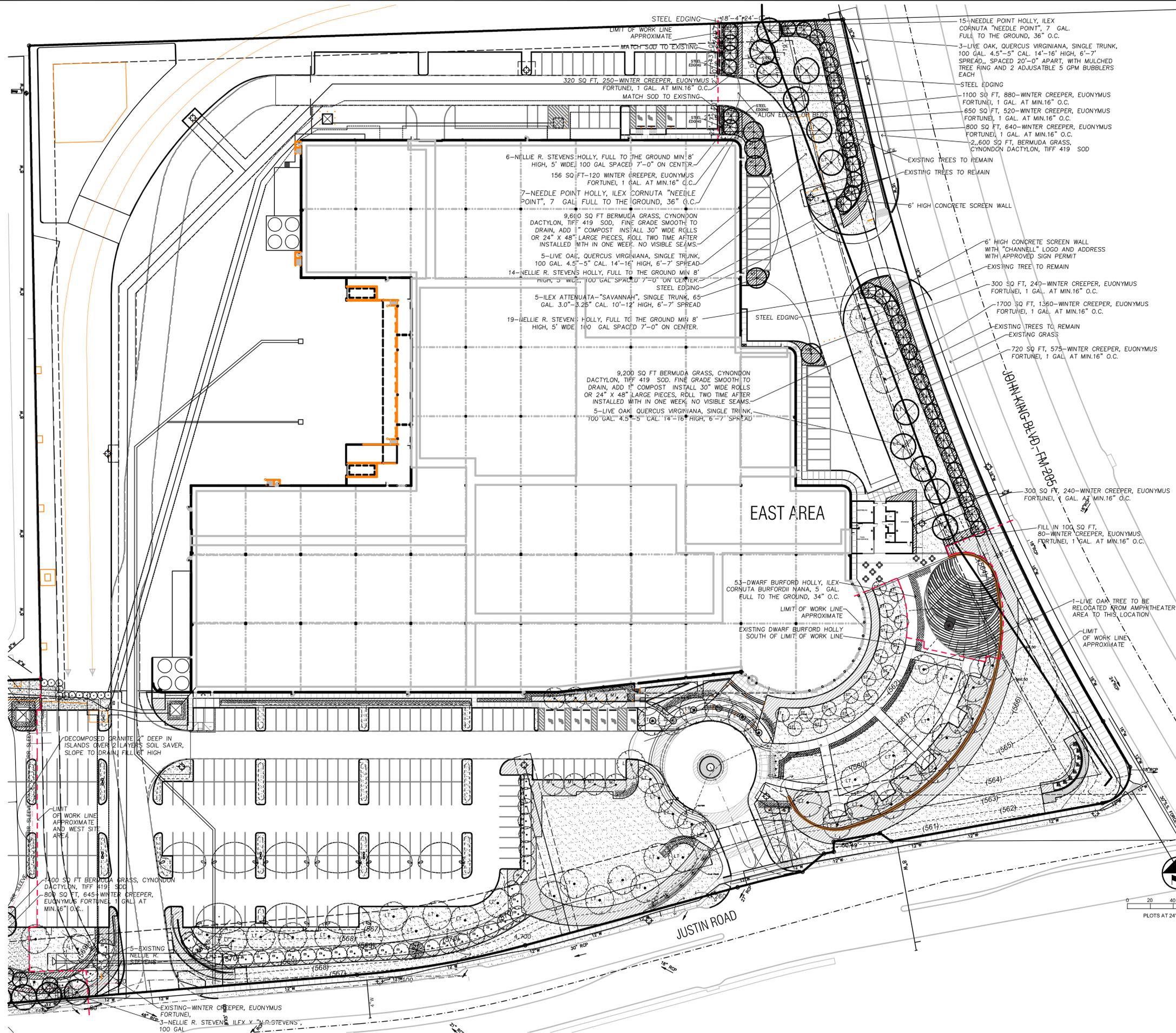


PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: PAVILLION

**A1.04**

CASE # 22020-053





**LANDSCAPE IRRIGATION WARRANTEE**

1. LANDSCAPE CONTRACTOR SHALL WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE COMPLETED WORK.
2. IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR NEW ITEMS.

**ROOT BARRIERS AT UTILITIES AND PAVING EDGES**

1. NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC, CABLE, STORM, ECT.
2. ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED
3. DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS AT EACH TREE ON SIDE OF PAVING OR UTILITY. INCLUDE 2" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP. BARRIER TO EXTEND 1" ABOVE GRADE.

**CITY OF ROCKWALL MAINTENANCE NOTE:**

MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS, REQUIRED BUFFER YARD AREAS AND MATERIALS AND REQUIRED SCREENING MATERIALS. SAID AREAS MUST BE MAINTAINED AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. MAINTENANCE WILL INCLUDE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE UDC. ALL SUCH PLANTS SHALL BE REPLACED WITHIN (6) SIX MONTHS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. A PROPERTY/HOMEOWNERS ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE OF COMMON AREAS.

**IRRIGATION AFFIDAVIT**

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATIVE (ET) WEATHER BASED CONTOLLERS ANS SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

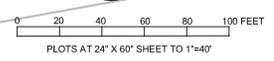
**BERMUDA SOD NOTES**

1. WATER SETTLE ALL TRENCHING ON SITE IN SOD AREA.
2. SITE SOIL TO BE TILLED, 6" DEEP BY MECHANICAL TILLER, BREAKING DOWN CLODS TO MAX 1" SIZES, REMOVING ALL ROCKS OVER 1" DIA AND DEBRIS IN ALL AREAS.
3. LEVEL TO DRAIN FINE GRADE SMOOTH TO DRAIN. FINISH WITH LARGE HAND RAKE SURFACE.
4. INSTALL 1" COMPOST, RAKE SMOOTH.
5. APPLY SLOW RELEASE FERTILIZER, PER MANUFACTURER INSTRUCTIONS.
6. INSTALL SOD, IN LARGE ROLLS, STAGGERING EDGES AND FITTING WITH NO GAPS ARE ALLOWED.
7. WATER (3) TIMES A DAY (4) FOUR MINUTES A DAY FOR 7 DAYS TO NOT LET ROOTS DRY OUT. ADJUST TIME AS REQUIRED TO NOT OVER WATER.
8. CONTRACTOR TO MAINTAIN GRASS AND INCLUDE (1) ONE MOWING IN BASE BID AFTER SOD REACHES 1.5"-2" HIGH.

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LANDSCAPE ARCHITECTS AND PLANNERS  
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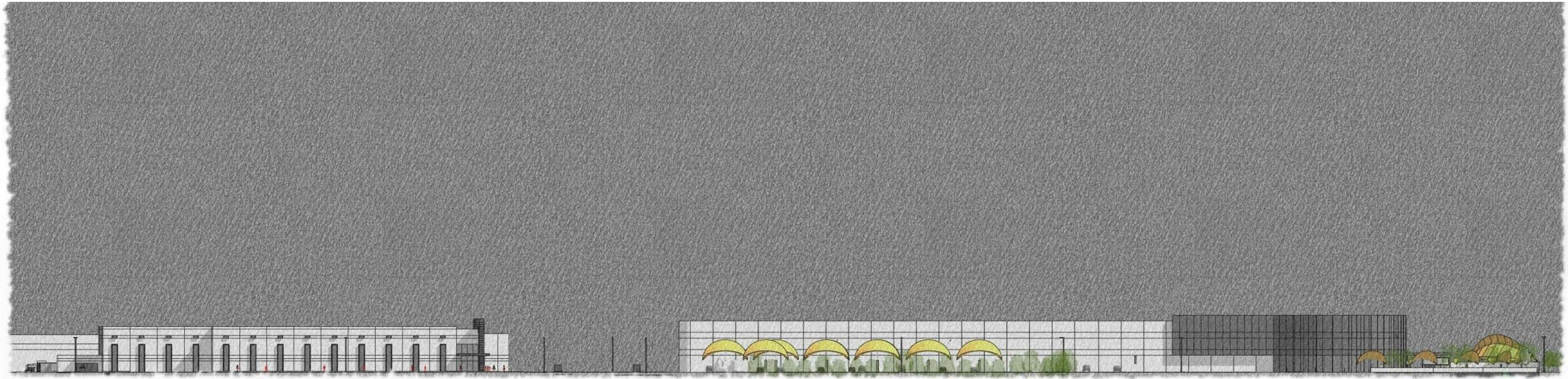


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 12/01/2020



NO.	DATE	REVISION				
<p><b>TP T. H. Pritchett / Associates</b> LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972-869-3535</p>						
<p><b>ALTERNATE LANDSCAPE PLAN EAST</b></p>						
<p><b>CHANNELL COMMERCIAL CORP.</b></p>						
<p><b>WEST PARKING &amp; STORAGE LAYOUT</b></p>						
<p><b>1700 JUSTIN ROAD</b></p>						
<p><b>CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</b></p>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	12/01/2020	1"=30'			LAE-1

**SP-2020-053**



SOUTH CAMPUS ELEVATION - JUSTIN RD



EAST CAMPUS ELEVATION - JOHN KING BLVD

**CHANNELL CAMPUS IMPROVEMENTS**  
1700 JUSTIN ROAD  
ROCKWALL, TEXAS

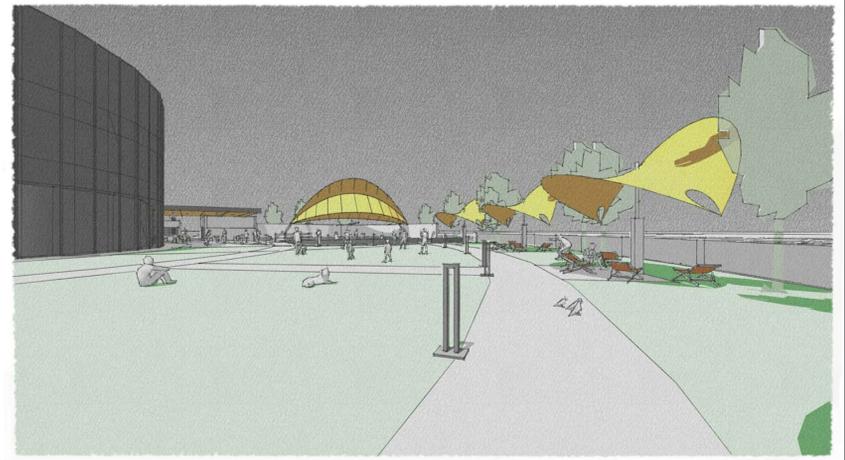
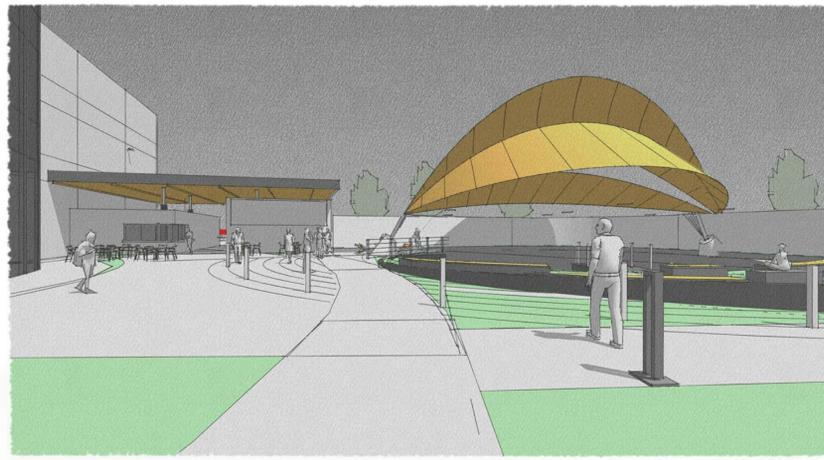
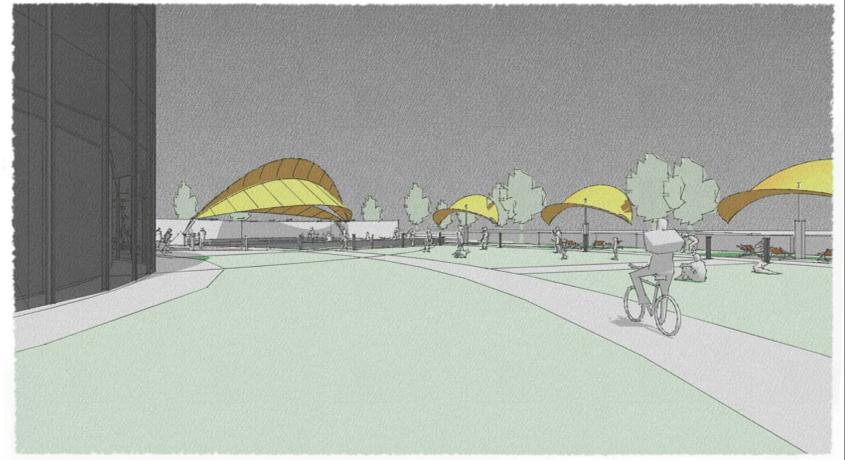
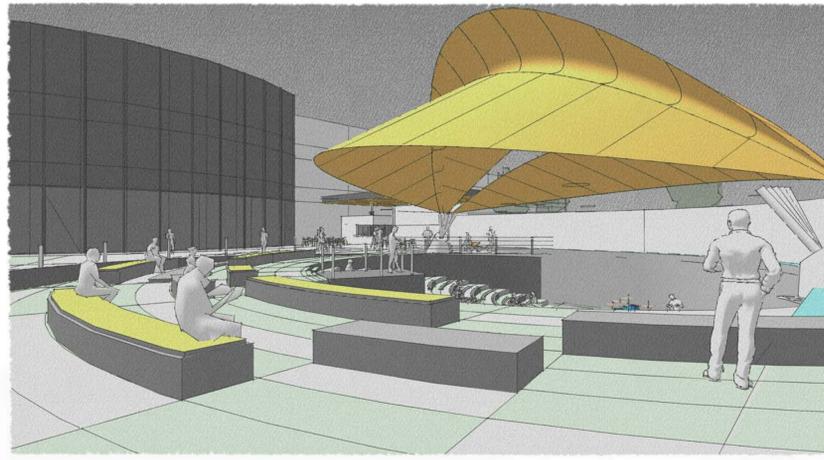
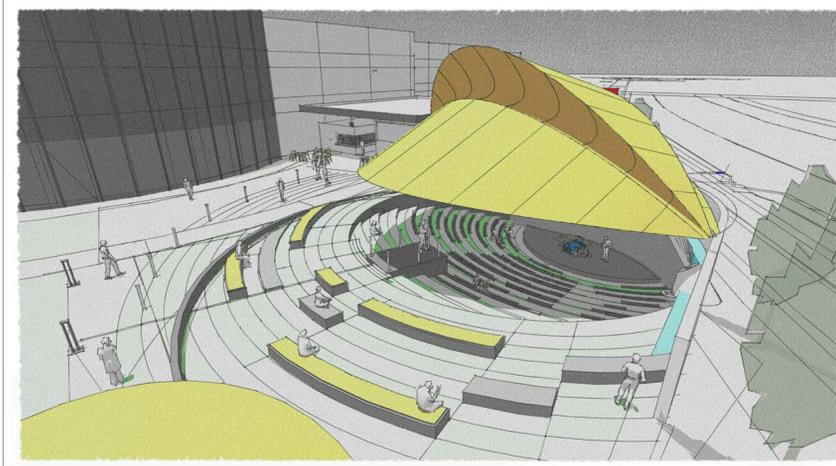
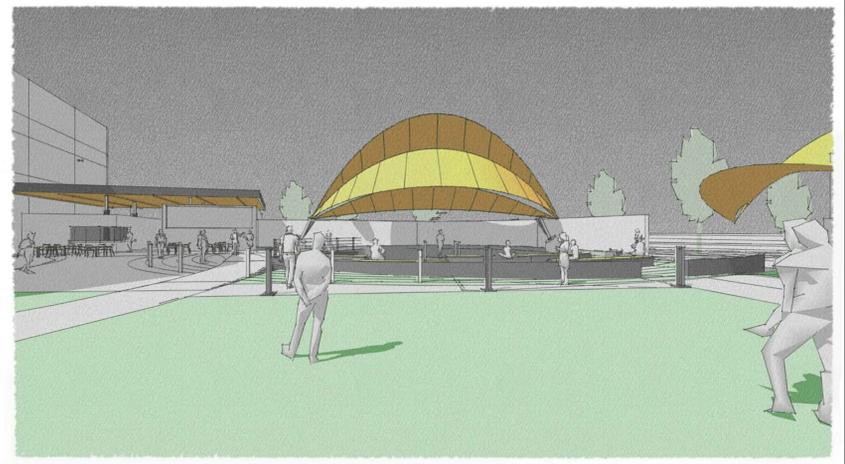
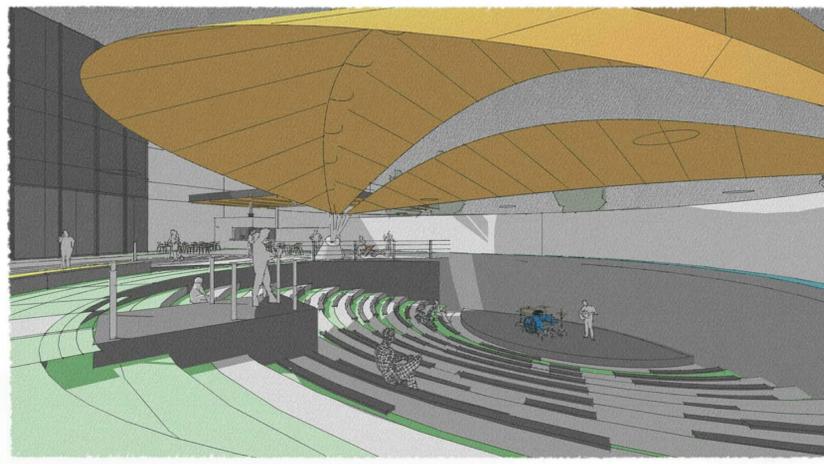
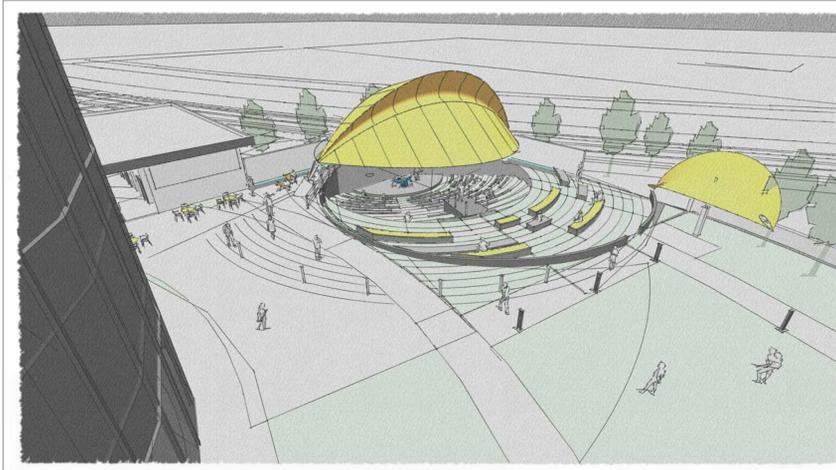
**MA**  
MEINHARDT & ASSOCIATES  
ARCHITECTS, P.L.L.C.  
1700 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: P&Z CONCEPT IMAGES

**A1.05**

CASE # 22020-053



**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

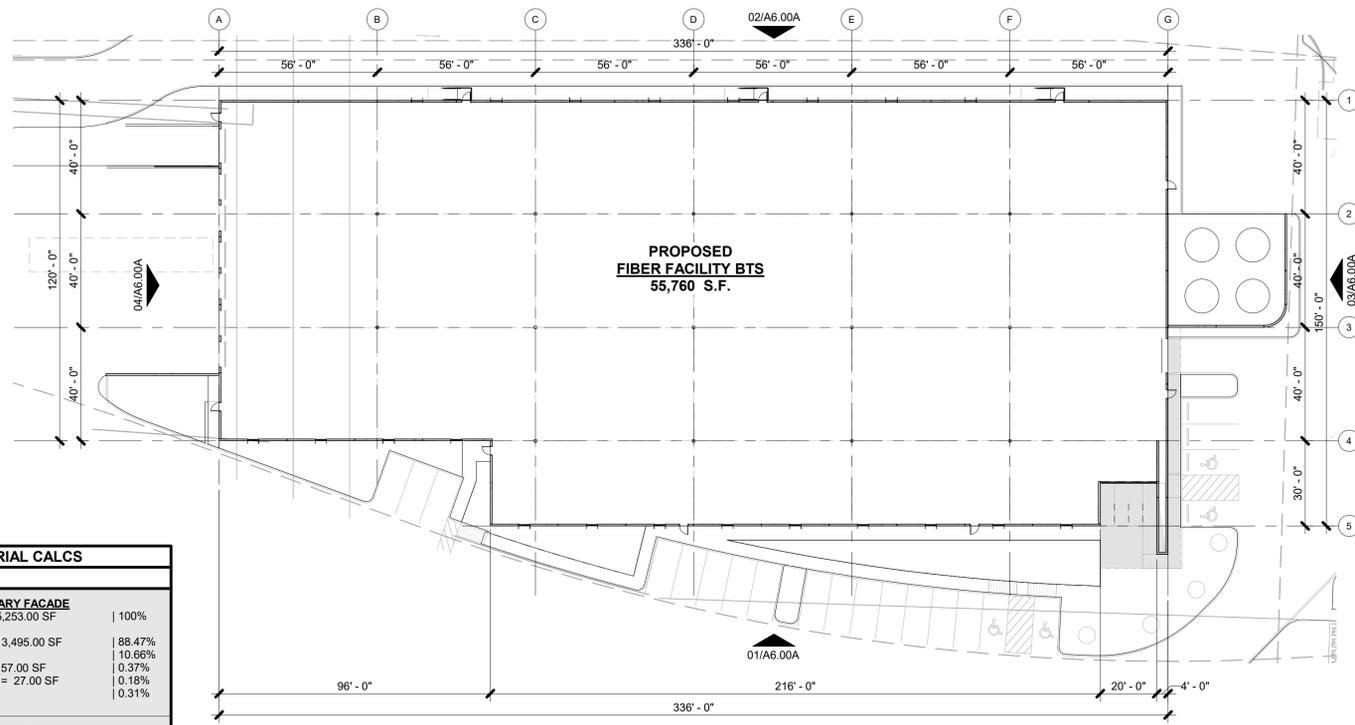
**MEINHARDT & ASSOCIATES**  
ARCHITECTS, P.L.L.C.  
1100 DALLAS PARKWAY  
SUITE 500  
DALLAS TEXAS 75244  
P: 214.440.4000



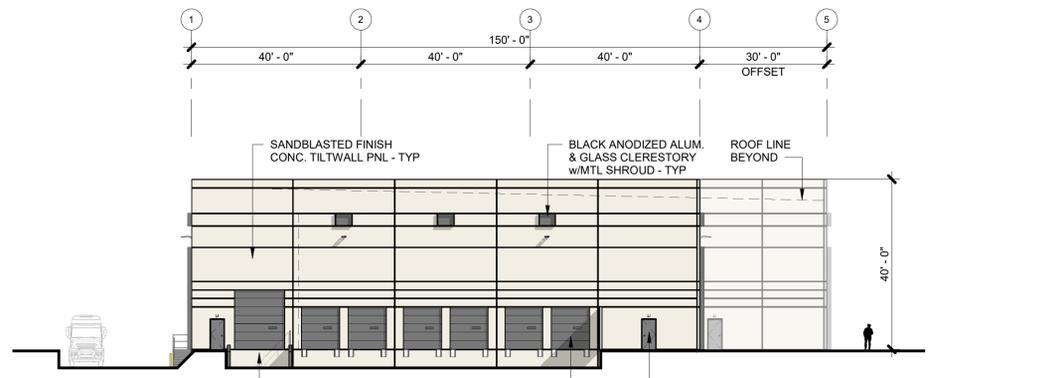
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DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: P&Z CONCEPT IMAGES

**A1.06**

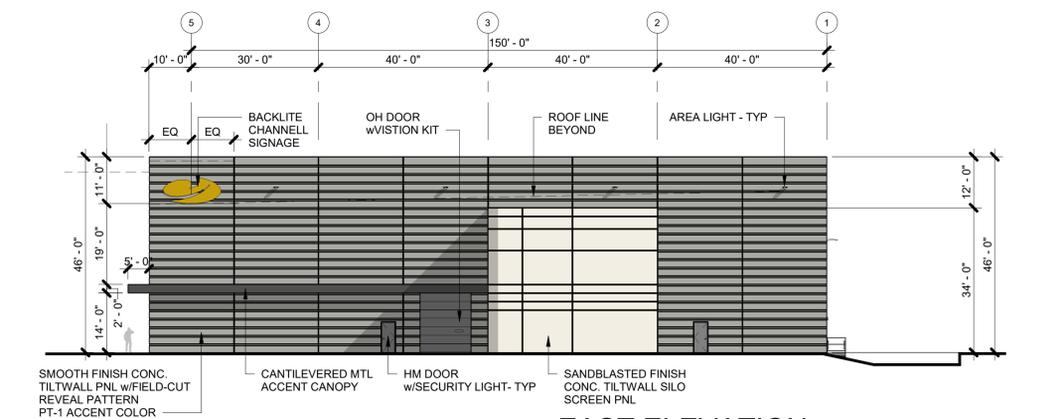
CASE # 22020-053



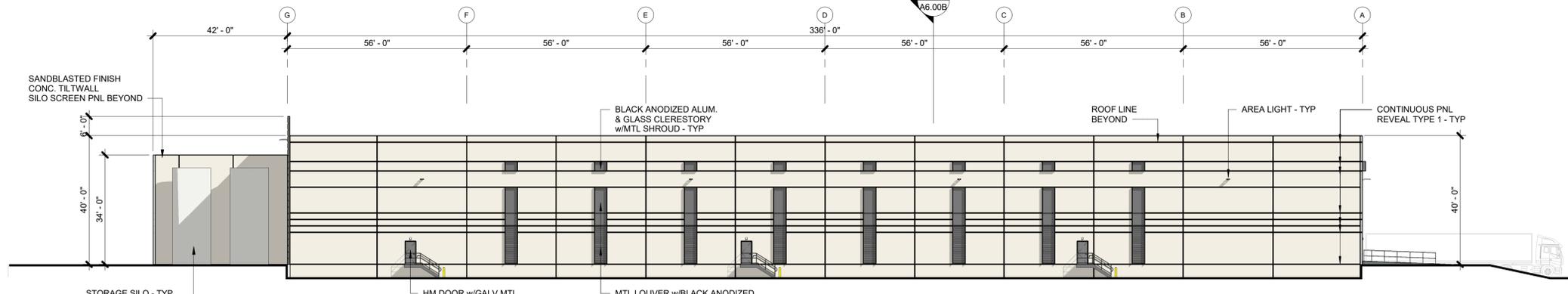
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SCALE: 1" = 30'-0"



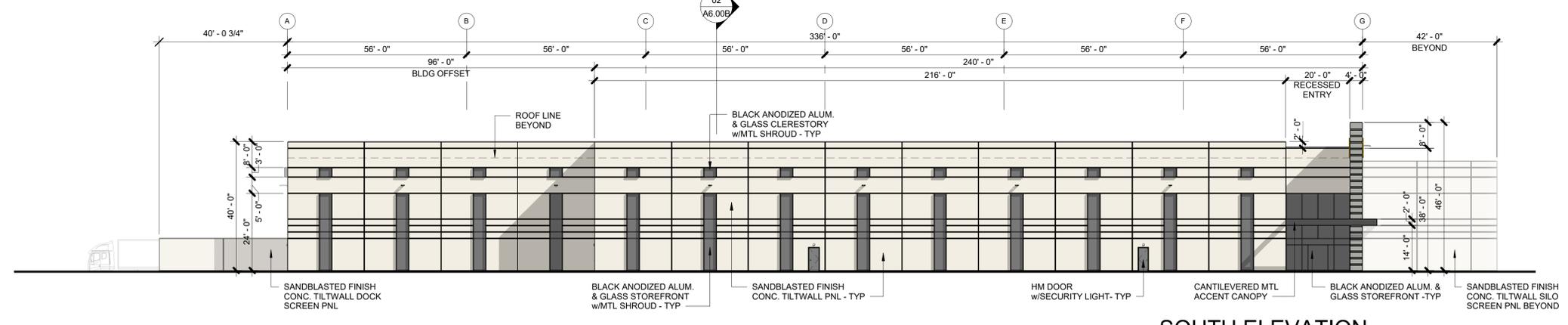
**04 WEST ELEVATION**  
SCALE: 1" = 20'-0"



**03 EAST ELEVATION**  
SCALE: 1" = 20'-0"



**02 NORTH ELEVATION**  
SCALE: 1" = 20'-0"



**01 SOUTH ELEVATION**  
SCALE: 1" = 20'-0"

ELEVATION + MATERIAL CALCS	
<b>SOUTH ELEVATION - PRIMARY FACADE</b>	
TOTAL FACADE AREA = 15,253.00 SF	100%
• CONCRETE TILTWALL = 13,495.00 SF	88.47%
• GLASS = 1,626.00 SF	10.66%
• MTL ACCENT CANOPY = 57.00 SF	0.37%
• MTL WINDOW SHROUDS = 27.00 SF	0.18%
• HM DOORS = 48.00 SF	0.31%
<b>WEST ELEVATION - PRIMARY FACADE</b>	
TOTAL FACADE AREA = 6,290.00 SF	100%
• CONCRETE TILTWALL = 5,473.00 SF	87.01%
• GLASS = 36 SF	0.57%
• MTL WINDOW SHROUDS = 1.00 SF	0.02%
• HM DOORS = 72.00 SF	1.14%
• OH DOORS = 708.00 SF	11.26%
<b>NORTH ELEVATION</b>	
TOTAL FACADE AREA = 16,216.00 SF	100%
• CONCRETE TILTWALL = 15,371.00 SF	97.79%
• GLASS = 419.00 SF	2.58%
• MTL WINDOW SHROUDS = 17.00 SF	0.10%
• MTL LOUVERS = 337.00 SF	2.08%
• HM DOORS = 72.00 SF	0.44%
<b>EAST ELEVATION</b>	
TOTAL FACADE AREA = 4,935.00 SF	100%
• CONCRETE TILTWALL = 1,613.00 SF	80.65%
• GLASS = 1.00 SF	0.05%
• MTL ACCENT CANOPY = 170.00 SF	8.50%
• HM DOORS = 48.00 SF	2.40%
• OH DOORS = 168.00 SF	8.40%

ARTICULATION CALCS	
<b>SOUTH ELEVATION - PRIMARY FACADE</b>	
1. WALL HEIGHT = 40'-0"	216'-0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	15'-0" PROVIDED
3. WALL PROJECTION = 25% X 40'-0" = 10'-0" MIN	20'-0" PROVIDED
4. ENTRY / ARCH ELEMENT LENGTH = 33% x 40'-0" = 13'-2 3/8" MIN	8'-0" PROVIDED
5. PROJECTION HEIGHT = 25% x 40'-0" = 10'-0" MIN	25'-0" PROVIDED
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x 40'-0") = 20'-0"	
<b>WEST ELEVATION - PRIMARY FACADE</b>	
1. WALL HEIGHT = 40'-0"	N/A
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	N/A
3. WALL PROJECTION = 25% X HEIGHT = N/A	N/A
4. ENTRY / ARCH ELEMENT LENGTH = 33% x LENGTH = N/A	N/A
5. PROJECTION HEIGHT = 25% x HEIGHT = N/A	N/A
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x H)	N/A
<b>NORTH ELEVATION - SECONDARY FACADE</b>	
1. WALL HEIGHT = 40'-0"	336'-0" PROVIDED
2. WALL LENGTH = 3 x 40'-0" = 120'-0" MAX	N/A
3. ENTRY / ARCH ELEMENT LENGTH = 15% x LENGTH = N/A	N/A
4. ENTRY / ARCH ELEMENT WIDTH = 15% x HEIGHT = N/A	N/A
5. PROJECTION HEIGHT = 15% x HEIGHT	N/A
<b>EAST ELEVATION - SECONDARY FACADE</b>	
1. WALL HEIGHT = 46'-0"	80'-0" PROVIDED
2. WALL LENGTH = 3 x 46'-0" = 138'-0" MAX	40'-0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 15% x 80'-0" = 12'-0" MIN	42'-0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 15% x 46'-0" = 6'-10 13/16" MIN	12'-0" PROVIDED
5. PROJECTION HEIGHT = 15% x 46'-0" = 6'-10 13/16" MIN	

MEINHARDT & ASSOCIATES  
ARCHITECTS, P.L.L.C.  
1201.2020



PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: P&Z ELEVATIONS

**A6.00A**

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CASE # 22020-053

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REVISIONS  
1 P&Z COMMENTS #1 12.01.20

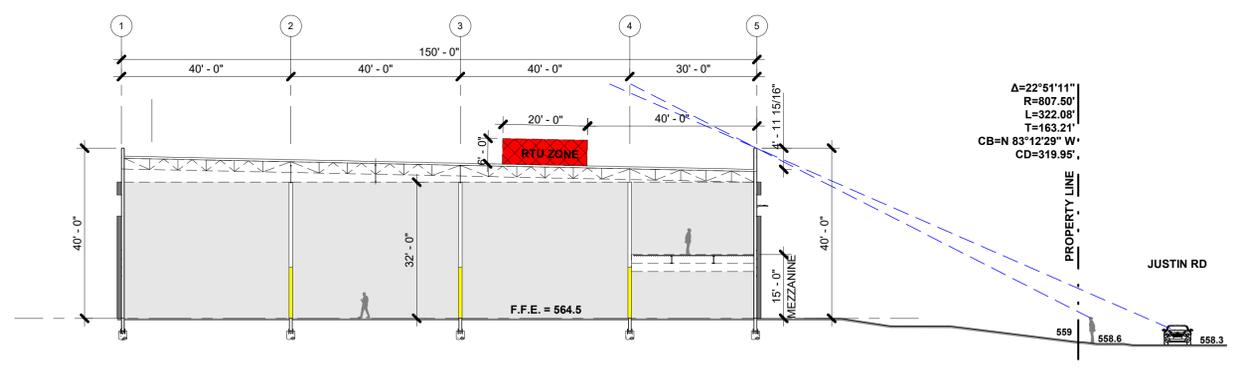
**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

**MEINHARDT & ASSOCIATES**  
ARCHITECTS, P.L.L.C.  
1800 DALLAS PARKWAY  
SUITE 400  
DALLAS TEXAS 75208  
P.O. BOX 4880

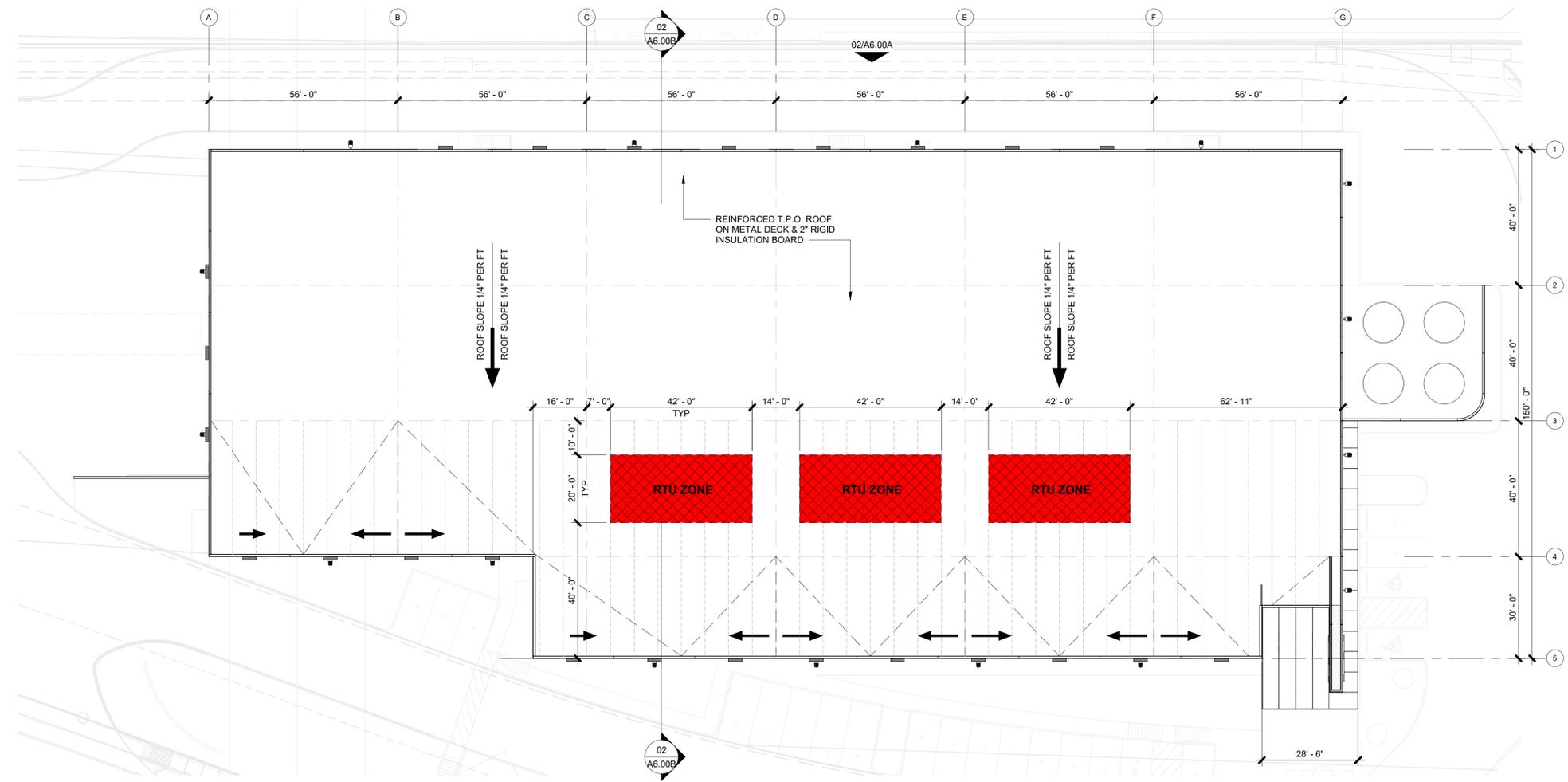


PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: P&Z DIAGRAMS

**A6.00B**



**02 BUILDING SECTION**  
SCALE: 1" = 20'-0"



**01 OVERALL ROOF PLAN**  
SCALE: 1" = 20'-0"

CASE # 22020-053



**PROPOSED  
FIBER FACILITY BTS  
55,760 S.F.**

**CHANNELL CAMPUS IMPROVEMENTS**  
1700 JUSTIN ROAD  
ROCKWALL, TEXAS

**MEINHARDT & ASSOCIATES  
ARCHITECTS, P.L.L.C.**  
HEAD OFFICE  
1000 WEST DALLAS PARKWAY  
SUITE 500  
DALLAS TEXAS 75204  
P.O. BOX 4889

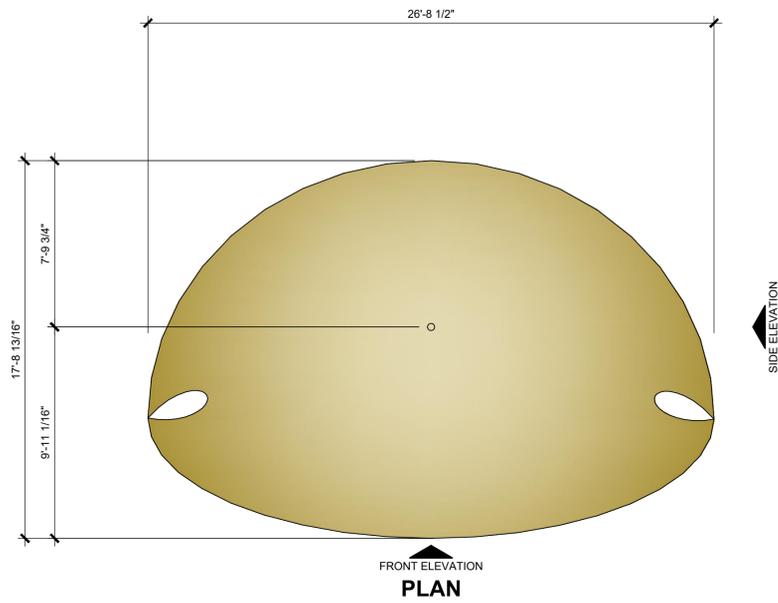


PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: P&Z VISUALIZATION

**A6.00C**

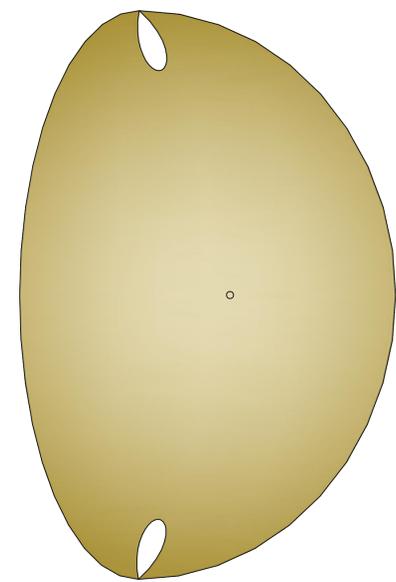
CASE # 22020-053

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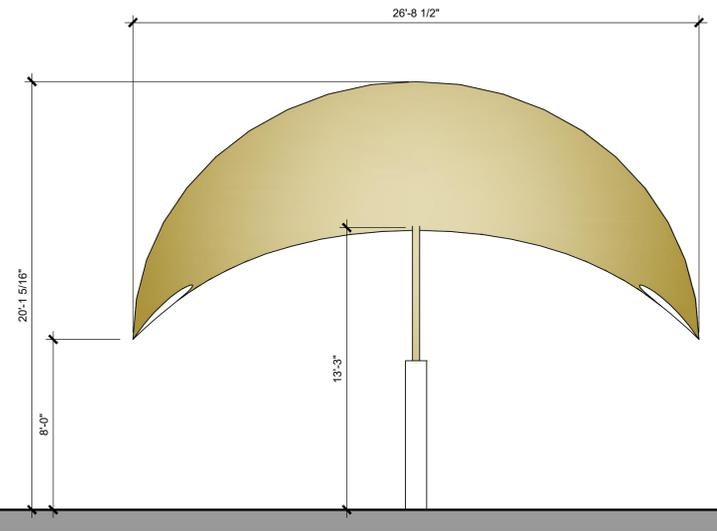


FRONT ELEVATION  
PLAN

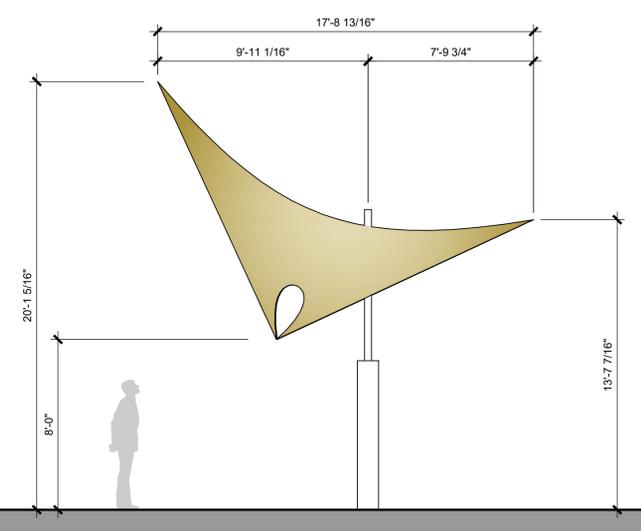
SIDE ELEVATION



PLAN



FRONT ELEVATION



SIDE ELEVATION

**01 SMALL TENSILE**  
SCALE: 1/4" = 1'-0"

CASE # Z2020-053

REVISIONS:  
1 P&Z COMMENTS #1 12.01.20

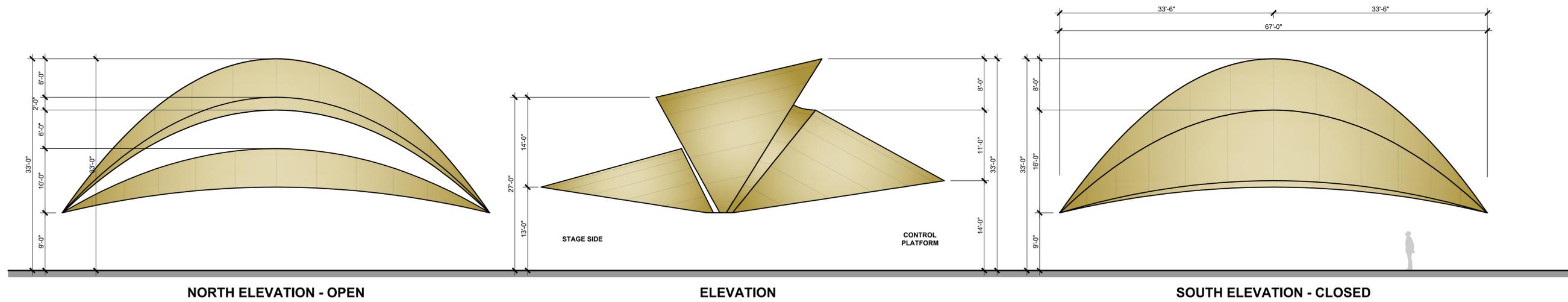
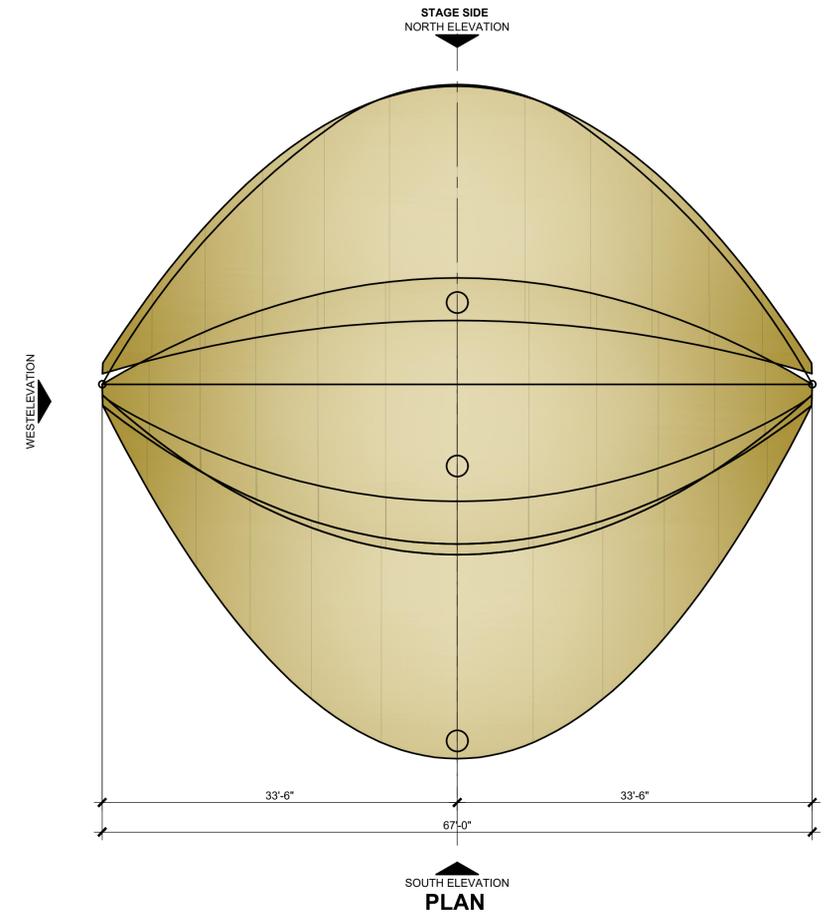
**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

**MEINHARDT & ASSOCIATES**  
ARCHITECTS, P.L.L.C.  
1400 DALLAS PARKWAY  
SUITE 400  
DALLAS TEXAS 75244  
409.940.8800



PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: ---  
SHEET: TENSILE CONCEPT

**A9.00**



NORTH ELEVATION - OPEN

ELEVATION

SOUTH ELEVATION - CLOSED

**01 AMPHITHEATER TENSILE**  
SCALE: 1/8" = 1'-0"

CASE # Z2020-053

**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

**MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.**

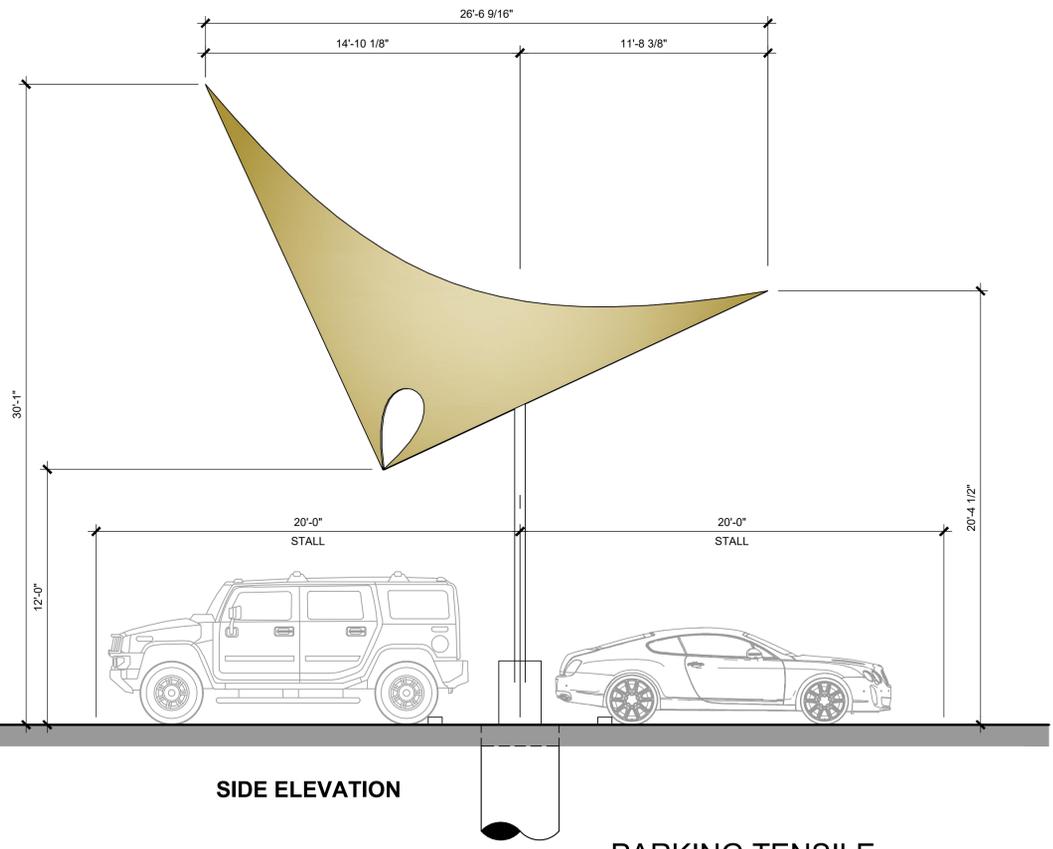
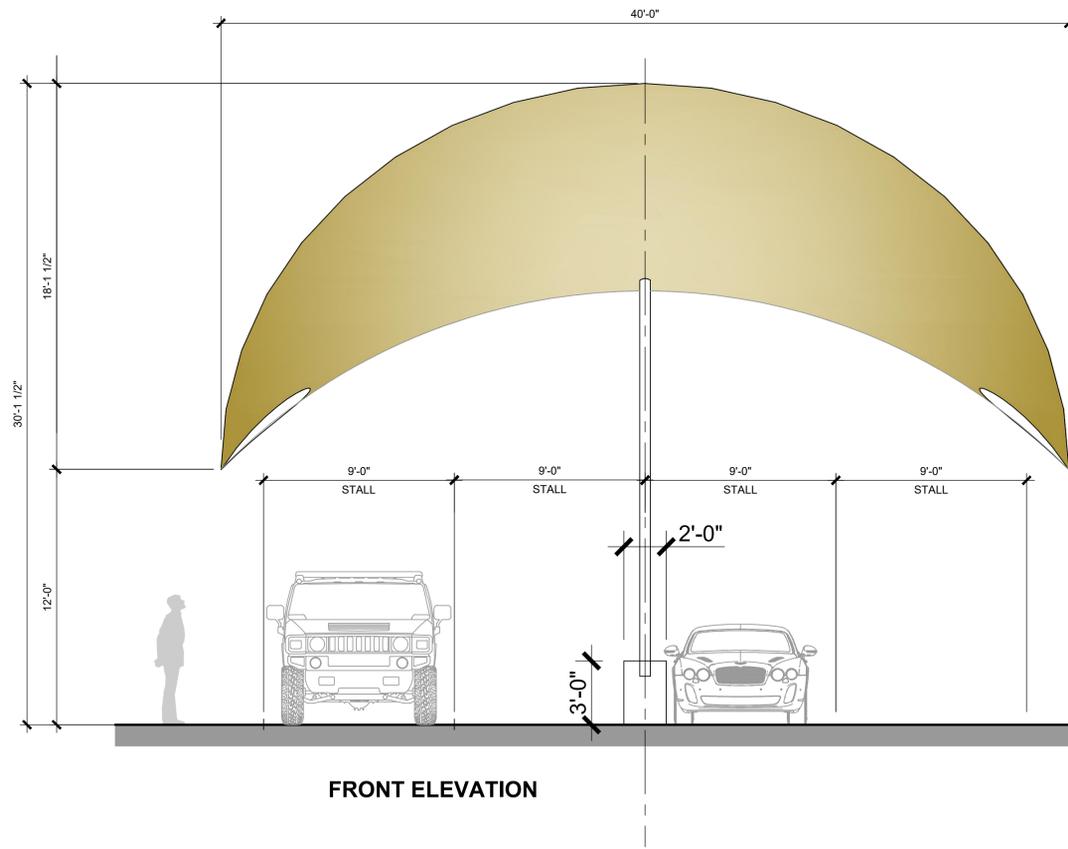
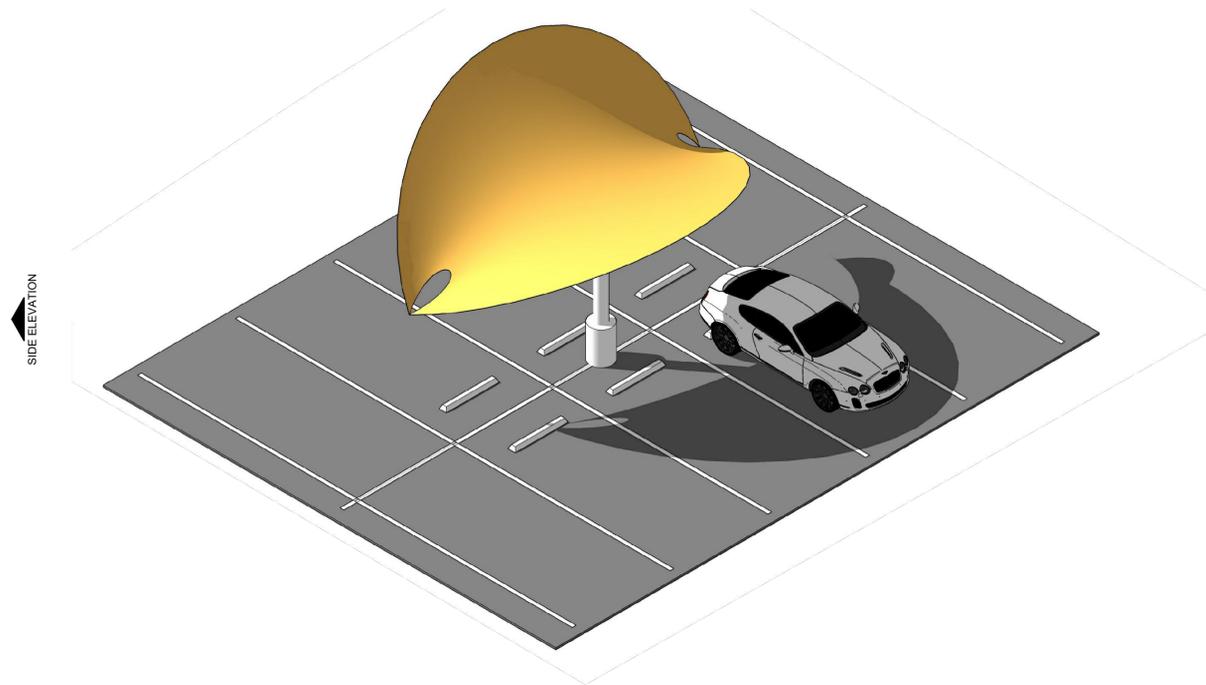
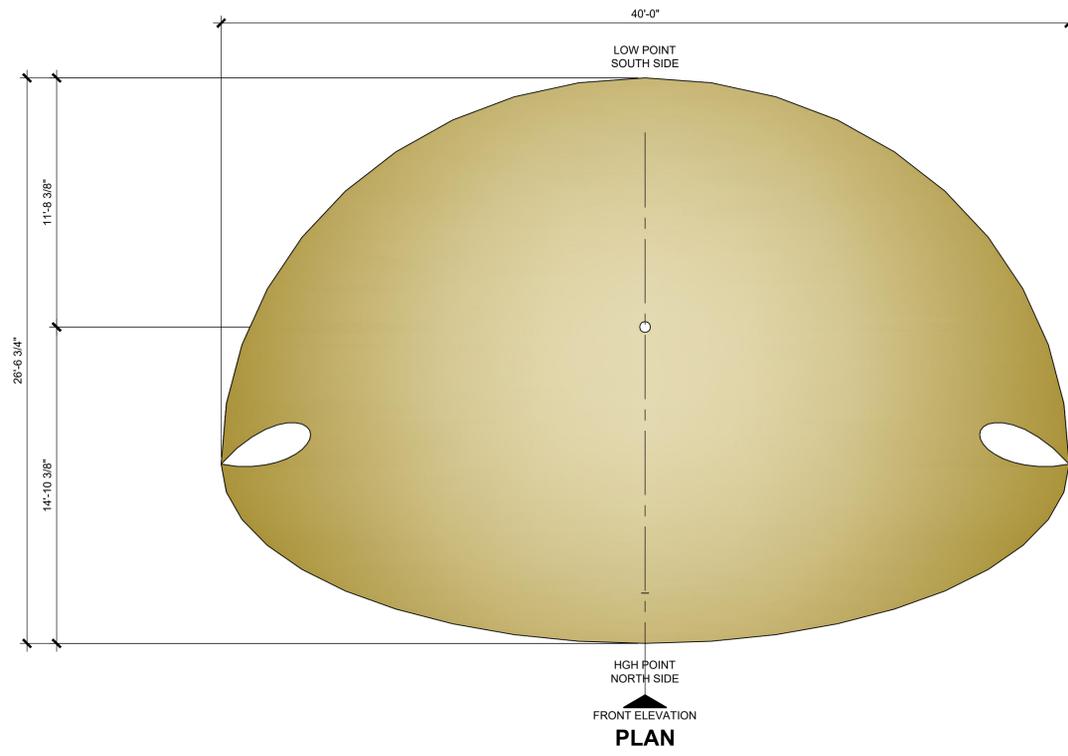
HEAD DALLAS PARKWAY  
SUITE 200  
DALLAS TEXAS 75244  
409.960.8800



12.01.2020

PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: ---  
SHEET: TENSILE CONCEPT

**A9.01**



01 PARKING TENSILE  
SCALE: 1/4" = 1'-0"

CASE # Z2020-053

\\MA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\Cds\Shell\205-Channel\Tensile.dwg, 12/17/2020 1:27:39 PM

REVISIONS:  
1 P&Z COMMENTS #1 12.01.20

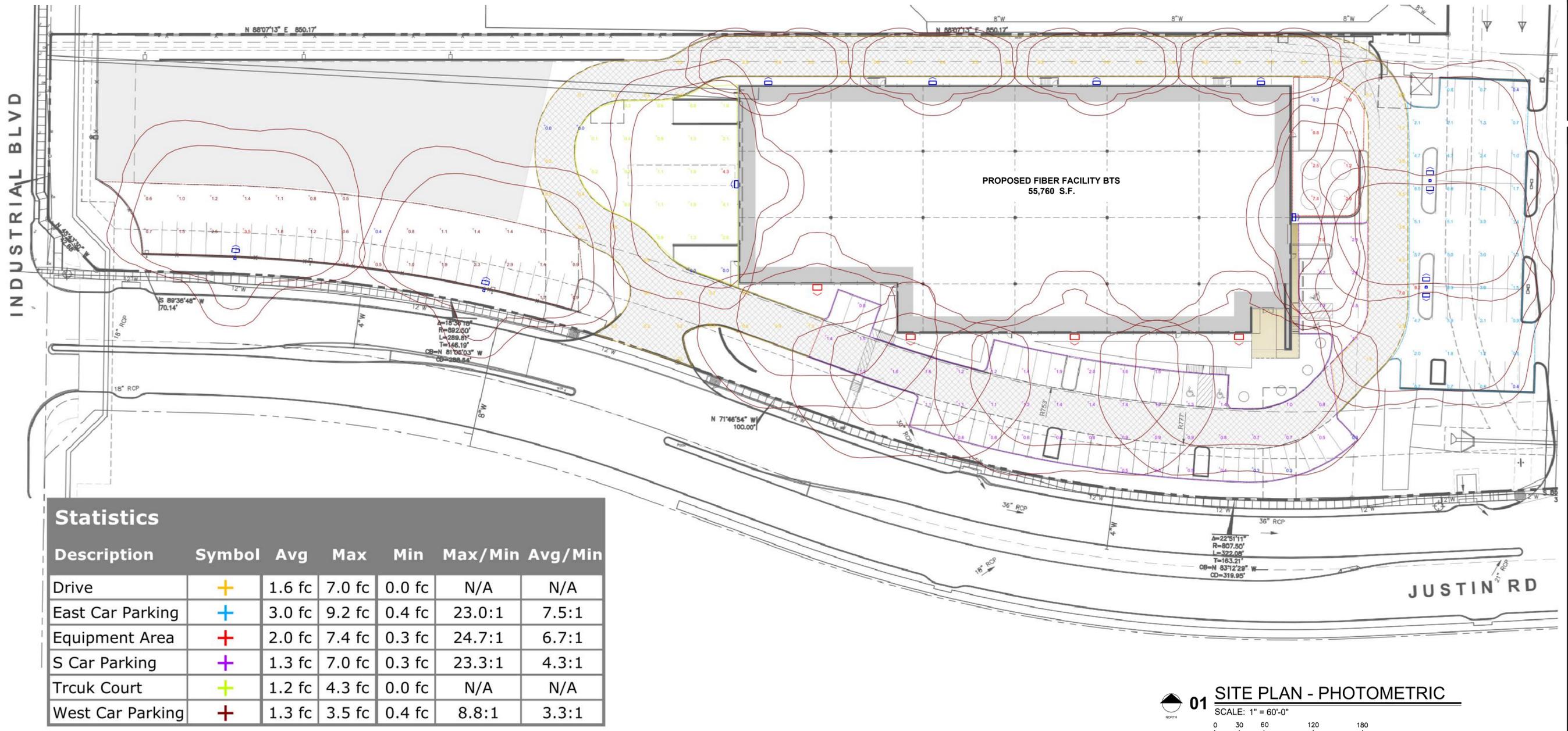
CHANNELL CAMPUS IMPROVEMENTS  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES  
ARCHITECTS, P.L.L.C.  
HEAD OFFICE: DALLAS, TEXAS 75201  
DALLAS OFFICE: DALLAS, TEXAS 75201  
MEMPHIS OFFICE: MEMPHIS, TENNESSEE 38103



PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: ---  
SHEET: TENSILE CONCEPT

A9.02



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive	+	1.6 fc	7.0 fc	0.0 fc	N/A	N/A
East Car Parking	+	3.0 fc	9.2 fc	0.4 fc	23.0:1	7.5:1
Equipment Area	+	2.0 fc	7.4 fc	0.3 fc	24.7:1	6.7:1
S Car Parking	+	1.3 fc	7.0 fc	0.3 fc	23.3:1	4.3:1
Trcuk Court	+	1.2 fc	4.3 fc	0.0 fc	N/A	N/A
West Car Parking	+	1.3 fc	3.5 fc	0.4 fc	8.8:1	3.3:1

**01 SITE PLAN - PHOTOMETRIC**  
SCALE: 1" = 60'-0"  
0 30 60 120 180  
GRAPHIC SCALE IN FEET

**CHANNELL CAMPUS IMPROVEMENTS**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

**MEINHARDT & ASSOCIATES**  
ARCHITECTS, P.L.L.C.  
1440 DALLAS PARKWAY  
SUITE 400  
DALLAS, TEXAS 75244  
972.960.9800



PROJECT NO: 20-205  
DATE: 11.13.2020  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: SITE PLAN - PHOTOMETRIC

**A9.03-E**

CASE # Z2020-053



**CHANNELL**

Where The Industry Connects.®

**CHANNELL CAMPUS IMPROVEMENTS**

1700 JUSTIN ROAD | ROCKWALL, TEXAS 75006



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR LIGHT INDUSTRIAL (LI) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 18.762-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, CHANNELL SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by David Meinhardt of Meinhardt & Associates Architects on behalf of Ed Burke of Channell Commercial Corporation for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses, on a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Commercial Corporation, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of any buildings on the *Subject Property* shall generally be in

accordance with the *Concept Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of an amphitheater on the *Subject Property* shall generally be in accordance with the *Concept Amphitheater Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of any shade canopies on the *Subject Property* shall generally be in accordance with the *Concept Canopy Plan*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 6.** That any landscaping planted or installed on the *Subject Property* shall generally be in accordance with the *Concept Landscape Plan*, depicted in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 7.** That any lighting installed on the *Subject Property* shall generally be in accordance with the *Concept Photometric Plan*, depicted in *Exhibit 'H'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'H'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 8.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'I'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'I'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 9.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 10.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 11.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 12.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

*DESCRIPTION*, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 3, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20200000008947 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the Official Public Records of Rockwall County, Texas; said 18.762 acre tract being more particularly described as follows:

*BEGINNING*, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 2 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

*THENCE*, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Rockwall Industrial East;

*THENCE*, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

*THENCE*, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

*THENCE*, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

*THENCE*, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

*THENCE*, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way

corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

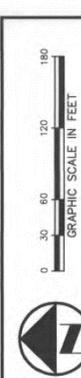
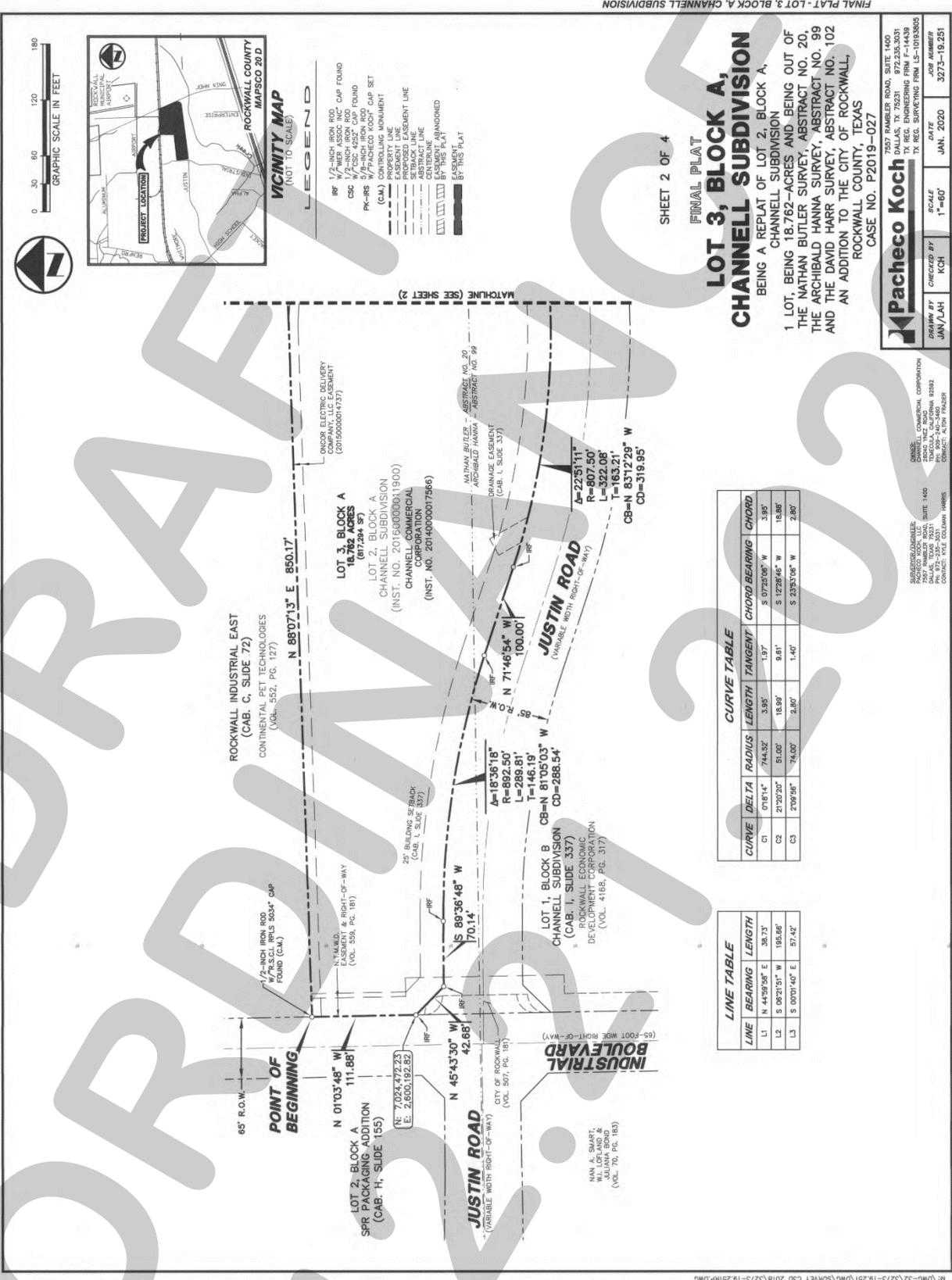
*THENCE*, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

*THENCE*, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the *POINT OF BEGINNING*;

*CONTAINING*, 817,294 square feet or 18.762 acres of land, more or less.

DRAFT  
ORDINANCE  
12.21.2020





**VICINITY MAP**  
(NOT TO SCALE)

**LEGEND**

- RF 1/2-INCH IRON ROD
- W/WATER ASSOC INC CAP FOUND
- CSC W/7/32" 4825" CAP FOUND
- PK-RS 5/8-INCH IRON ROD CAP SET
- (C.M.) CONTROLLING MONUMENT
- PROPERTY LINE
- SETBACK LINE
- FASPOSSO EASEMENT LINE
- CENTRELINE
- EASEMENT, ABANDONED
- EASEMENT, BY THIS PLAT

ROCKWALL INDUSTRIAL EAST  
(CAB. C, SLIDE 72)  
CONTINENTAL PET TECHNOLOGIES  
(VOL. 552, PG. 127)

LOT 3, BLOCK A  
18.762 ACRES  
(81,204 SF)  
LOT 2, BLOCK A  
CHANNELL SUBDIVISION  
(INST. NO. 2016000001900)  
CHANNELL COMMERCIAL  
CORPORATION  
(INST. NO. 20140000017566)

LOT 1, BLOCK B  
CHANNELL SUBDIVISION  
(CAB. I, SLIDE 337)  
DEVELOPMENT CORPORATION  
(VOL. 4186, PG. 317)

LOT 2, BLOCK B  
CHANNELL SUBDIVISION  
(CAB. H, SLIDE 155)  
(E. 2050, 19235)

JUSTIN ROAD  
(VARIABLE WIDTH RIGHT-OF-WAY)

INDUSTRIAL BOULEVARD  
(65-FOOT WIDE RIGHT-OF-WAY)

POINT OF BEGINNING  
N 01°03'48" W 111.88'

65' R.O.W.  
1/2-INCH IRON ROD FOUND (C.M.)

N 01°03'48" W 111.88'

N 45°43'30" W 42.65'

S 89°36'46" W 170.14'

N 71°46'54" W 100.00'

N 88°07'13" E 850.17'

N 18°36'18" R=892.50' L=289.81' T=146.18'

N 71°46'54" W 100.00'

N 83°12'29" W CB=N 831229' W CD=319.95'

N 22°51'11" R=807.50' L=322.08' T=163.21'

NATHAN BUTLER ARCHIBALD HANNA ABSTRACT NO. 20  
DRAINAGE EASEMENT (CAB. I, SLIDE 337)

SPR PACKAGING-ADDITION (CAB. H, SLIDE 155)

24' BUILDING SETBACK (CAB. I, SLIDE 337)

SWISS ELECTRIC DELIVERY COMPANY G.P. EASEMENT (2015000001737)

MATCHLINE (SEE SHEET 2)

ROCKWALL COUNTY, TEXAS  
CASE NO. P2019-027

FINAL PLAT - LOT 3, BLOCK A, CHANNELL SUBDIVISION

SHEET 2 OF 4

FINAL PLAT

**LOT 3, BLOCK A,  
CHANNELL SUBDIVISION**

BEING A REPLAT OF LOT 2, BLOCK A,  
CHANNELL SUBDIVISION  
1 LOT, BEING 18.762-ACRES AND BEING OUT OF  
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,  
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99  
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102  
AN ADDITION TO THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
CASE NO. P2019-027

**Pacheco Koch**  
REGISTERED PROFESSIONAL ENGINEER  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231 872.235.3031  
TX REG. SURVEYING FROM LS-1083905

DESIGNED BY  
JAN/AJH

CHECKED BY  
NCA

SCALE  
1"=60'

DATE  
JAN. 2020

JOB NUMBER  
3273-18.251

DWG FILE: 3273-18.251RP.DWG

REGISTRATION NUMBER  
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RECOMMENDED FOR FINAL APPROVAL
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 11th day of January, 2020.

NOTICE TO THE PUBLIC: KNOW ALL MEN BY THESE PRESENTS, THAT I, the undersigned, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision.

NOTES
1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute an assurance or guarantee by the City of the adequacy and availability for water for persons use and the protection within such plat, as required under Ordinance 03-24.

FINAL PLAT
LOT 3, BLOCK A, CHANNELL SUBDIVISION
BEING A REPLAT OF LOT 2, BLOCK A, CHANNELL SUBDIVISION
1 LOT, BEING 18.762-ACRES AND BEING OUT OF THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. PZ019-027
Pacheco Koch
7857 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75242-1430
TX REG. SURVEYING FIRM LS-10136305
PHONE: 972-333-3033
FAX: 972-333-3033
JOB NUMBER: 3273-19-251

South 88 degrees, 38 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with MEI & ASSOC, INC. cap found for corner; said point being on the southwest end of a right-of-way corner strip at the intersection of said north line of Justin Road with the east line of Industrial Boulevard.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT I, the undersigned, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision.

NOTES
1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute an assurance or guarantee by the City of the adequacy and availability for water for persons use and the protection within such plat, as required under Ordinance 03-24.

FINAL PLAT
LOT 3, BLOCK A, CHANNELL SUBDIVISION
BEING A REPLAT OF LOT 2, BLOCK A, CHANNELL SUBDIVISION
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FAX: 972-333-3033
JOB NUMBER: 3273-19-251

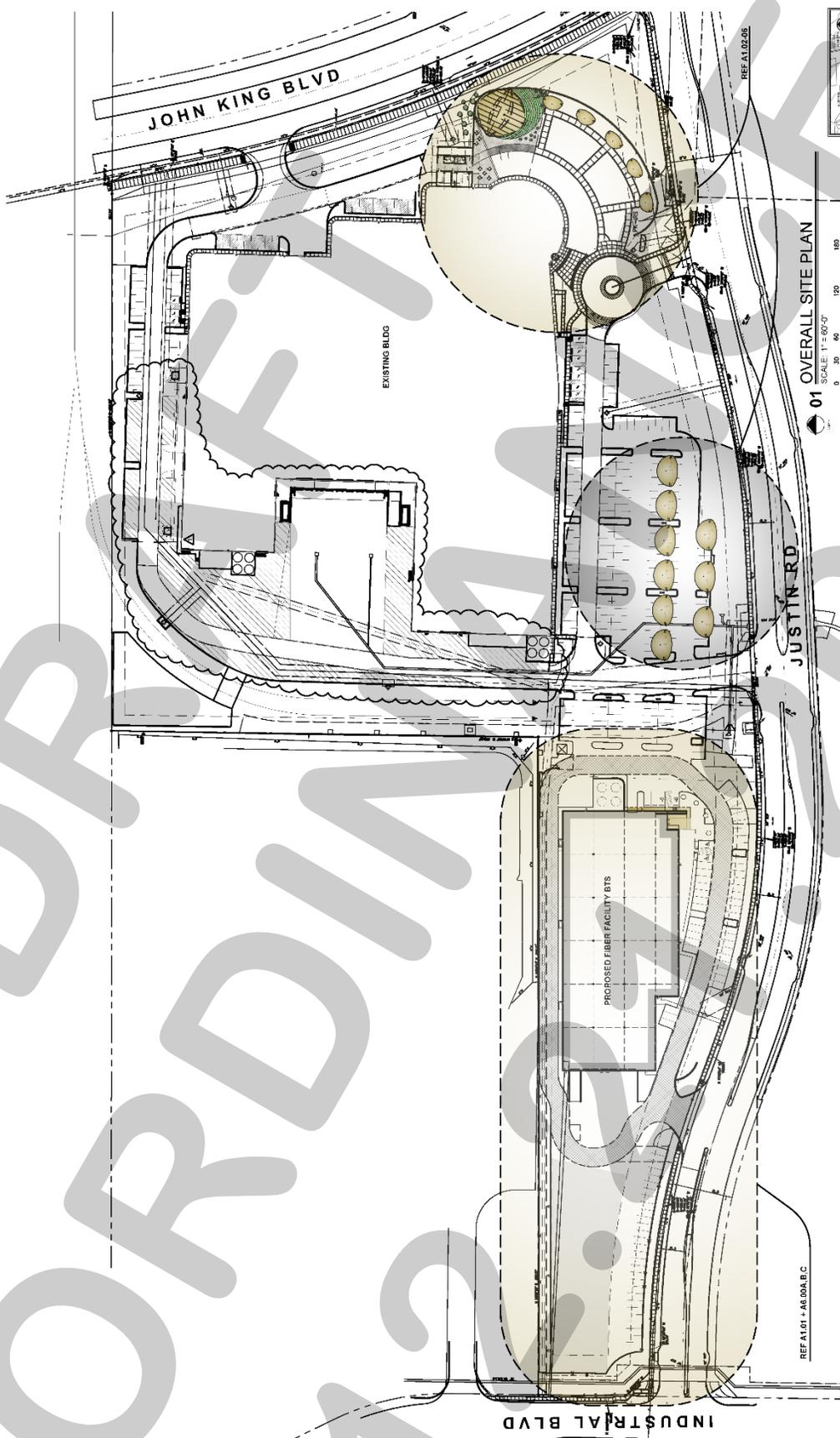
STATE OF TEXAS
COUNTY OF ROCKWALL
MCKENZIE, Channel Commercial Corporation, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas, said tract of land being described as follows:

LEGAL DESCRIPTION
DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Nathan Butler Survey, Abstract No. 20, and the David HARR Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, according to the plat recorded in Instrument No. 201000001940 of the Official Public Records of Rockwall County, Texas, and according to the plat recorded in Instrument No. 201000001940 of the Official Public Records of Rockwall County, Texas, and according to the plat recorded in Instrument No. 201400007265 of the Official Public Records of Rockwall County, Texas, said tract of land being more particularly described as follows:

BEING, at a 1/2-inch iron rod with T.L.S.C. R.L.S. 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (to 65-foot wide right-of-way) and point being the intersection of said north line of Justin Road with the east line of Industrial Boulevard.

South 88 degrees, 38 minutes, 48 seconds East, a distance of 693.89 feet to a 1/2-inch iron rod with MEI & ASSOC, INC. cap found at an angle point.
North 88 degrees, 38 minutes, 48 seconds East, a distance of 18.762 feet to a 1/2-inch iron rod with MEI & ASSOC, INC. cap found at an angle point.
120-foot wide right-of-way.

DRAFT 12/2020

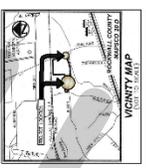


01 OVERALL SITE PLAN

SCALE: 1" = 60'-0"  
GRAPHIC SCALE IN FEET

SITE DATA

PROPOSED LOT AREA = 118,000 SQ. FT.  
PROPERTY BOUNDARY = 117,200 SQ. FT. (1.7% AC)  
TOTAL LOT AREA = 117,200 SQ. FT. (1.7% AC)  
TOTAL LOT FRONTAGE = 61,200 FT. (1.12% AC)  
TOTAL LOT DEPTH = 61,200 FT. (1.12% AC)

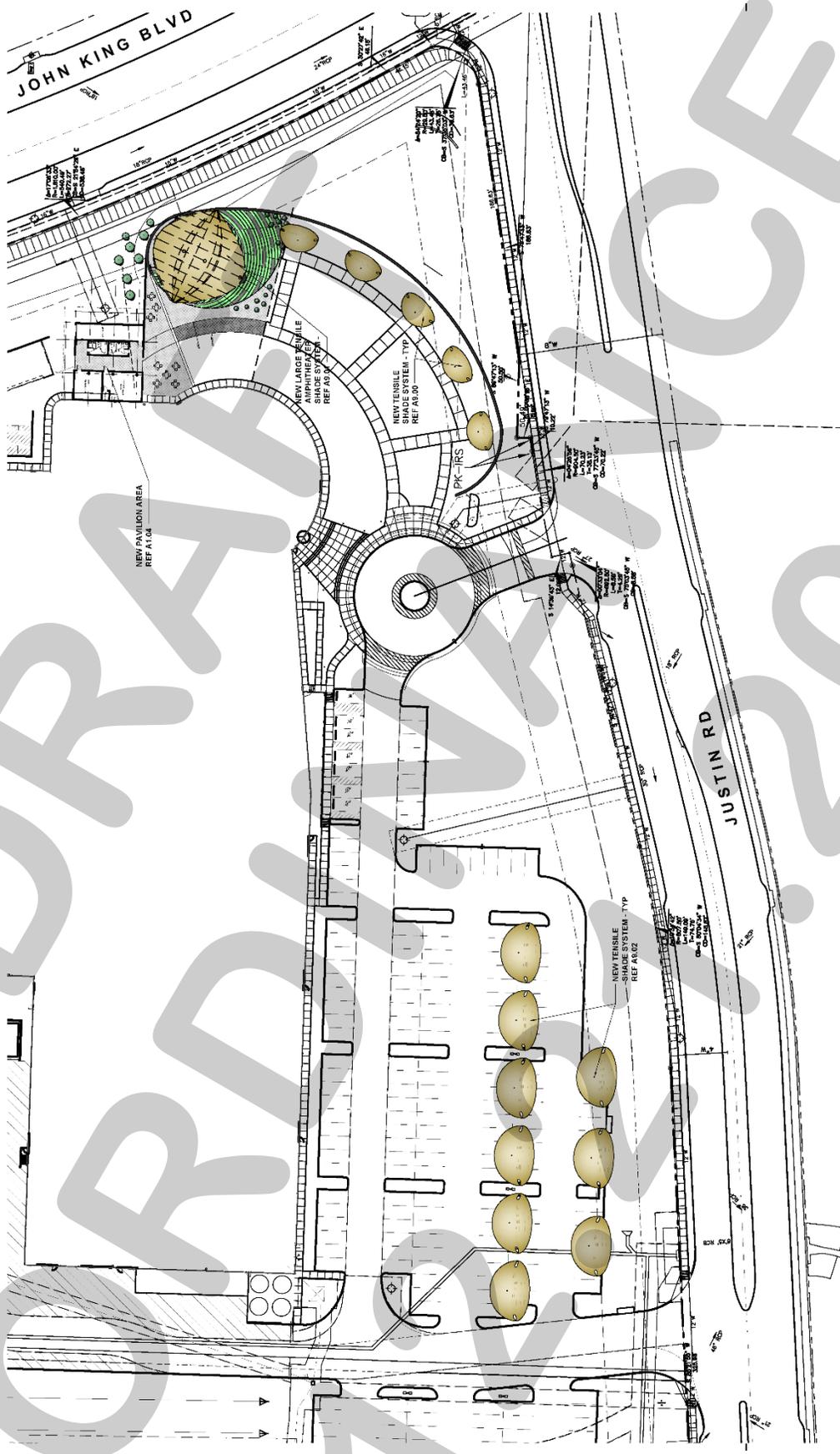


CONTRACTOR: [Name]  
DATE: [Date]  
PROJECT: [Project Name]  
ADDRESS: [Address]  
CITY: [City]  
STATE: [State]  
ZIP: [ZIP]

DATE: 12/20/20



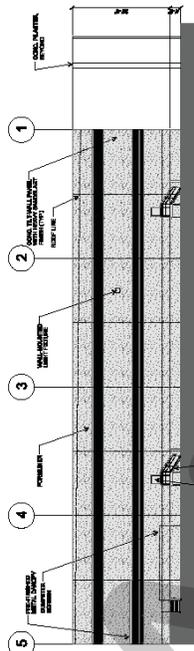
JOHN KING BLVD



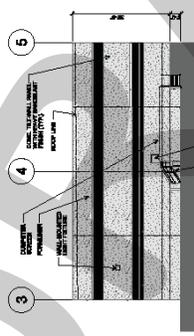
01 PARTIAL SITE PLAN  
 SCALE: 1" = 30'-0"  
 GRAPHIC SCALE IN FEET



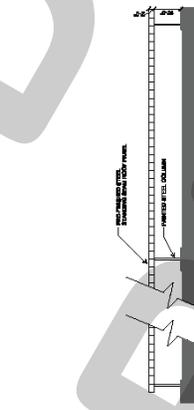
DRAFT 2020



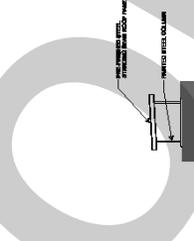
**TRUCK COURT NORTH ELEVATION 5**  
SCALE: 1/4" = 1'-0"



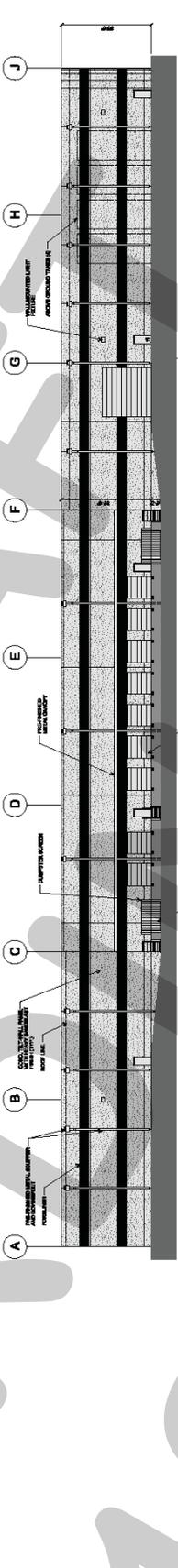
**TRUCK COURT SOUTH ELEVATION 6**  
SCALE: 1/4" = 1'-0"



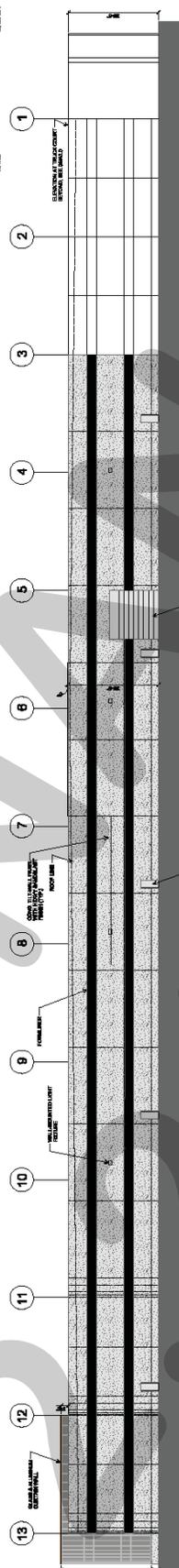
**PARKING CANOPY SOUTH ELEVATION 7**  
SCALE: 1/4" = 1'-0"



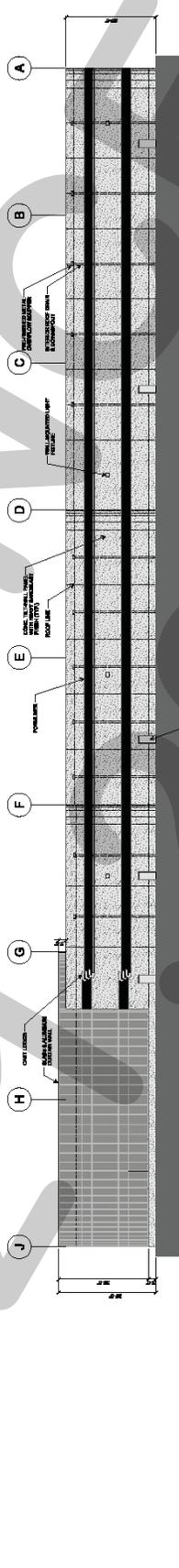
**PARKING CANOPY SECTION 8**  
SCALE: 1/4" = 1'-0"



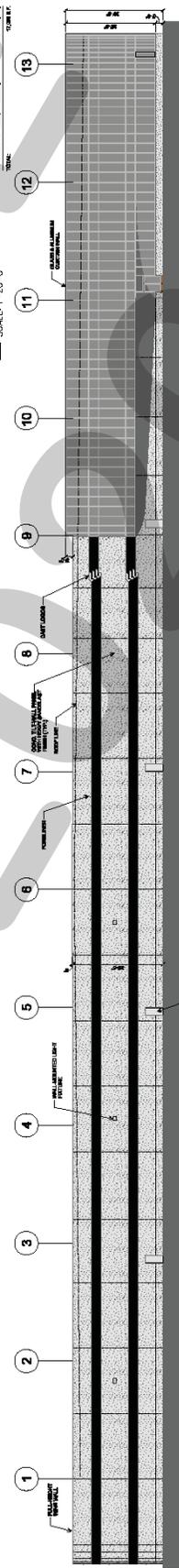
**4 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



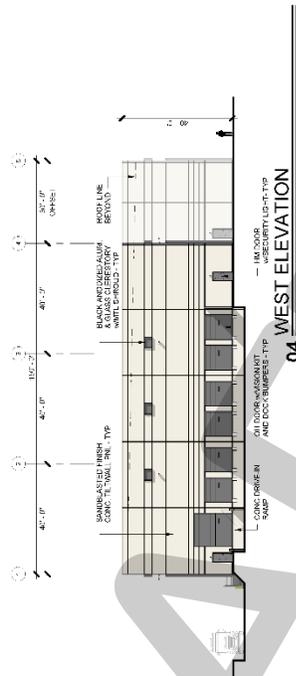
**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



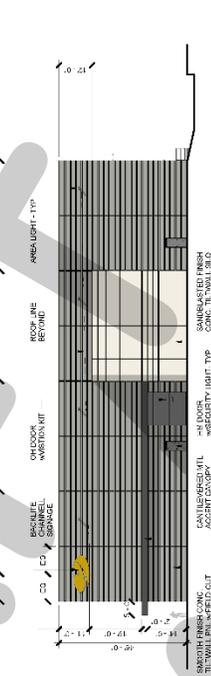
**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



PROJECT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
SCALE: 1/8" = 1'-0"

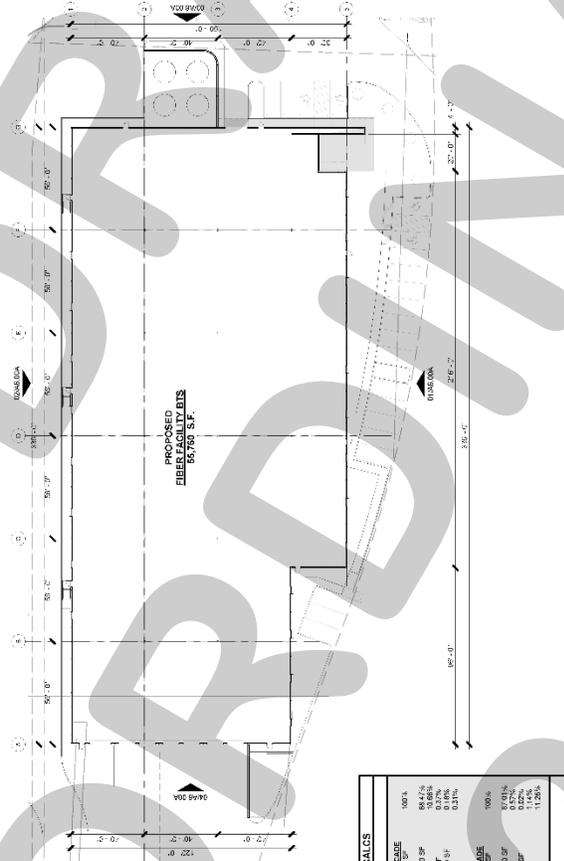


**04 WEST ELEVATION**  
SCALE: 1" = 20' 0"



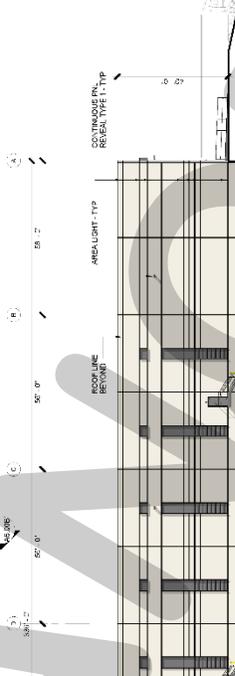
**03 EAST ELEVATION**  
SCALE: 1" = 20' 0"

**05 OVERALL SHELL FLOOR PLAN**  
SCALE: 1" = 30' 0"

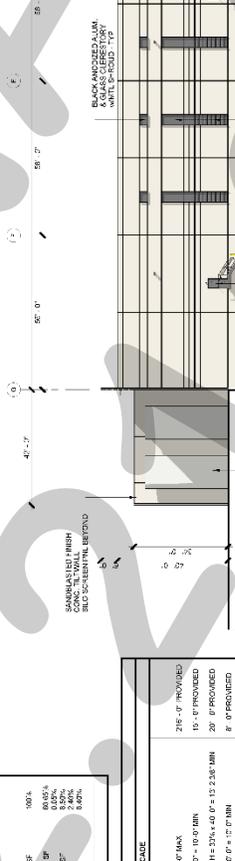


**ELEVATION - MATERIAL CALCS**

100% WEST FACADE	100% EAST FACADE
CONCRETE TOTAL WALL = 12,492.00 SF	CONCRETE TOTAL WALL = 11,571.00 SF
GLASS & ALUM. CURTAIN WALL = 2,700.00 SF	GLASS & ALUM. CURTAIN WALL = 1,700.00 SF
STEEL CURTAIN WALL = 2,700.00 SF	STEEL CURTAIN WALL = 1,700.00 SF
ALUM. CURTAIN WALL = 2,700.00 SF	ALUM. CURTAIN WALL = 1,700.00 SF
GLASS & ALUM. CURTAIN WALL = 2,700.00 SF	GLASS & ALUM. CURTAIN WALL = 1,700.00 SF
STEEL CURTAIN WALL = 2,700.00 SF	STEEL CURTAIN WALL = 1,700.00 SF
ALUM. CURTAIN WALL = 2,700.00 SF	ALUM. CURTAIN WALL = 1,700.00 SF
GLASS & ALUM. CURTAIN WALL = 2,700.00 SF	GLASS & ALUM. CURTAIN WALL = 1,700.00 SF
STEEL CURTAIN WALL = 2,700.00 SF	STEEL CURTAIN WALL = 1,700.00 SF
ALUM. CURTAIN WALL = 2,700.00 SF	ALUM. CURTAIN WALL = 1,700.00 SF



**02 NORTH ELEVATION**  
SCALE: 1" = 20' 0"



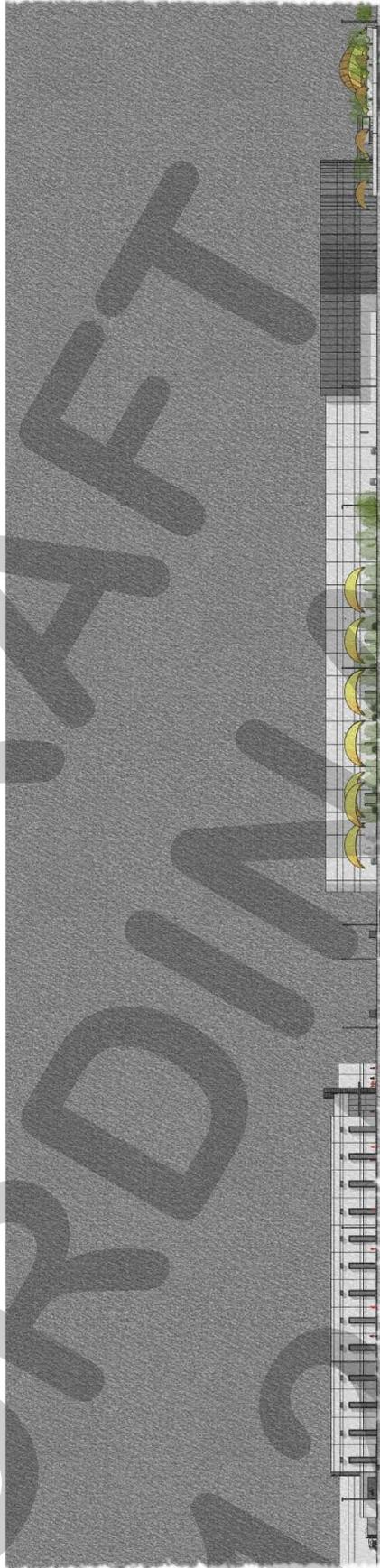
**01 SOUTH ELEVATION**  
SCALE: 1" = 20' 0"

**ARTICULATION CALCS**

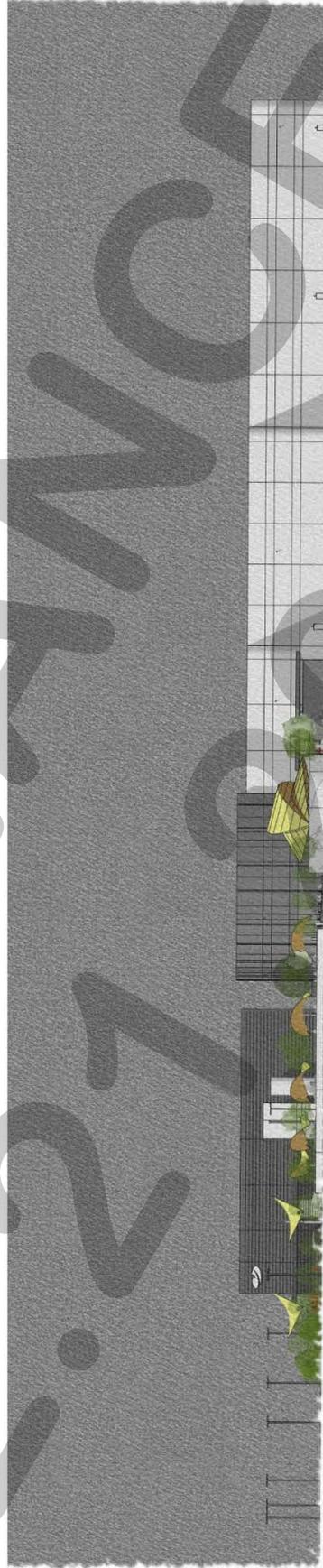
SOUTH ELEVATION - PRIMARY FACADE	WEST ELEVATION - PRIMARY FACADE	NORTH ELEVATION - SECONDARY FACADE	EAST ELEVATION - SECONDARY FACADE
1. WALL HEIGHT = 42'-0"			
2. WALL LENGTH = 44'-0"			
3. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX	3. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX	3. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX	3. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX
4. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN	4. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN	4. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN	4. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN
5. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN	5. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN	5. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN	5. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN
6. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN	6. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN	6. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN	6. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN
7. WALL HEIGHT = 42'-0"			
8. WALL LENGTH = 44'-0"			
9. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX	9. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX	9. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX	9. WALL PROJECTION = 29.5" X 46.0" = 13.56' MAX
10. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN	10. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN	10. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN	10. ENTRY / ARCH ELEMENT LENGTH = 57% X 46.0" = 13.23' MIN
11. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN	11. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN	11. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN	11. PROJECTION ELEM-T = 25" X 46" = 12' 0" MIN
12. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN	12. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN	12. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN	12. ENTRY / ARCH ELEMENT WIDTH = 23" X 105" X 45" = 2.20' MIN



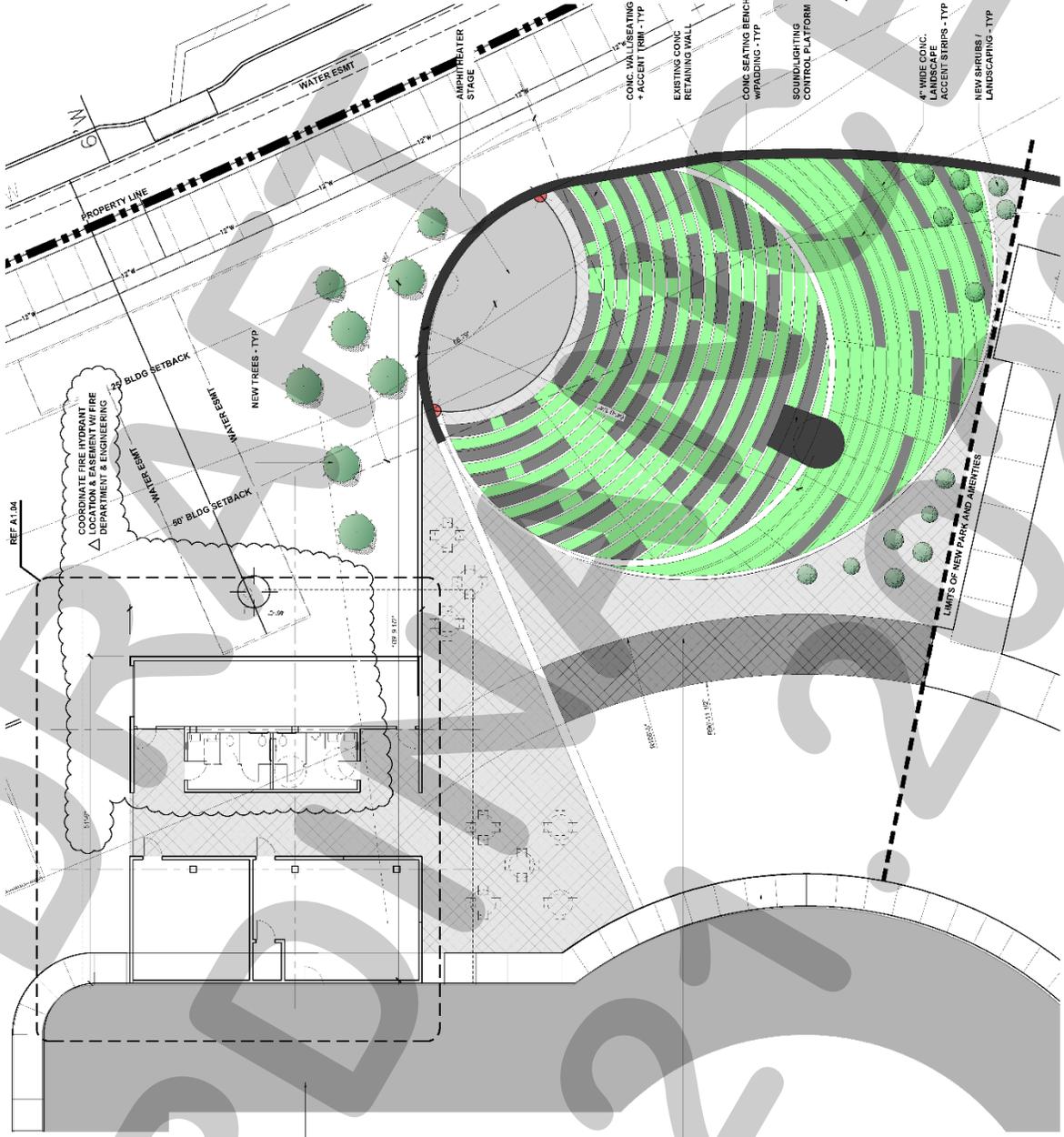




SOUTH CAMPUS ELEVATION - JUSTIN RD



EAST CAMPUS ELEVATION - JOHN KING BLVD



REF A1.04

COORDINATE FIRE HYDRANT  
WITH  
PLANNING  
DEPARTMENT & ENGINEERS

25' BLDG SETBACK

50' BLDG SETBACK

NEW TREES - TYP

EXISTING BLDG

NEW CONC WALKWAY  
CONTINUED

EXISTING  
PERIMETER WALK

WATER ESMT

AMPHITHEATER  
STAGE

CONIC WALL SEATING  
+ ACCENT TYP - TYP

EXISTING CONIC  
RETAINING WALL

CONIC SEATING BENCH  
WRAPPING - TYP

SOUND/LIGHTING  
CONTROL PLATFORM

4" WIDE CONIC  
LANDSCAPE  
ACCENT STRIPS - TYP

NEW SHRUBS /  
LANDSCAPING - TYP

LIMITS OF NEW  
PARK AND AMENITIES

01 OVERALL AMPHITHEATER + AMENITIES PLAN

SCALE: 1/8" = 1'-0"

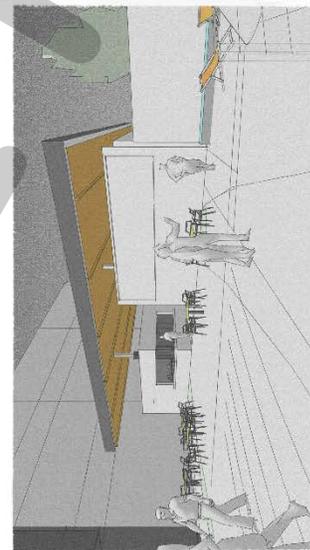
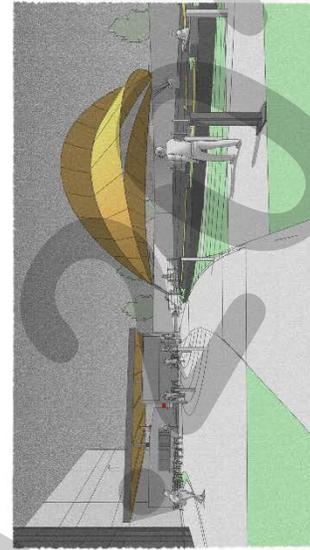
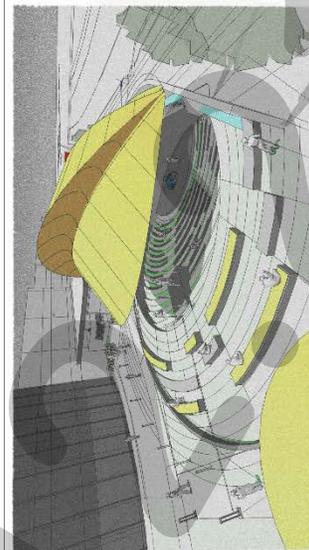
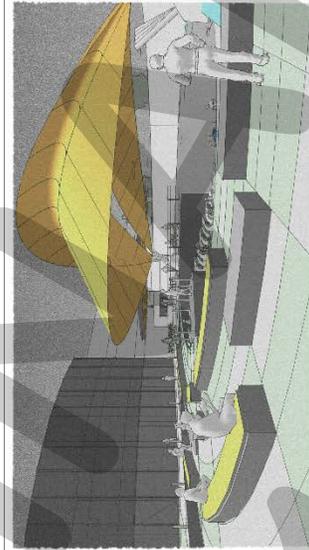
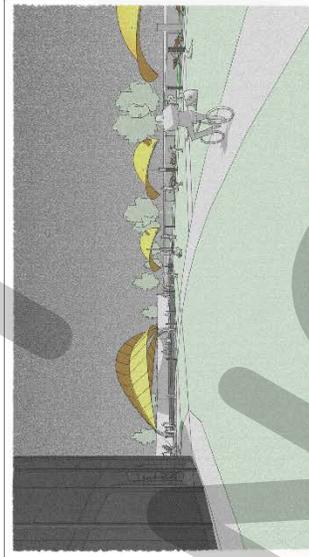
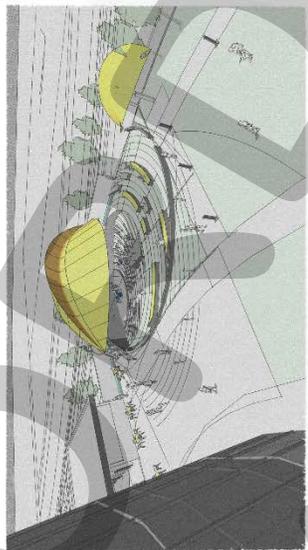
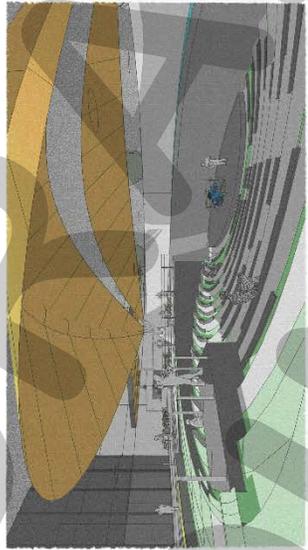
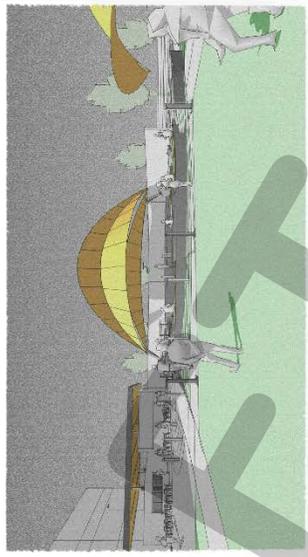
NEW CONC  
PERIMETER WALK

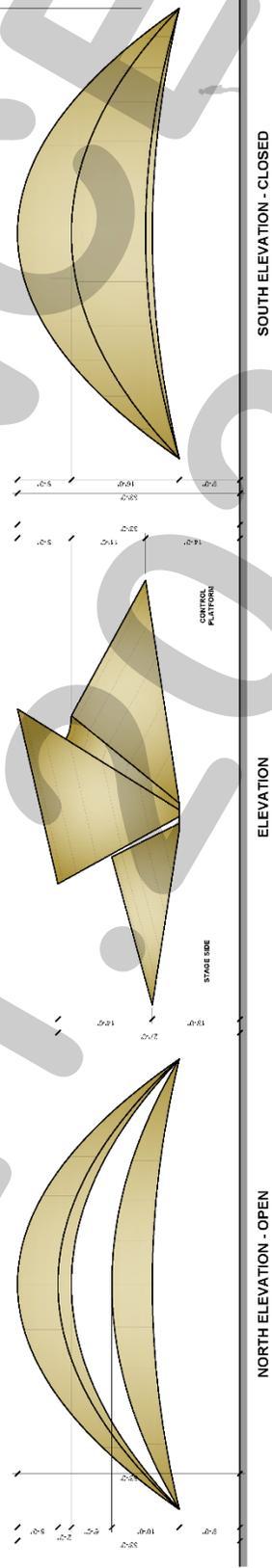
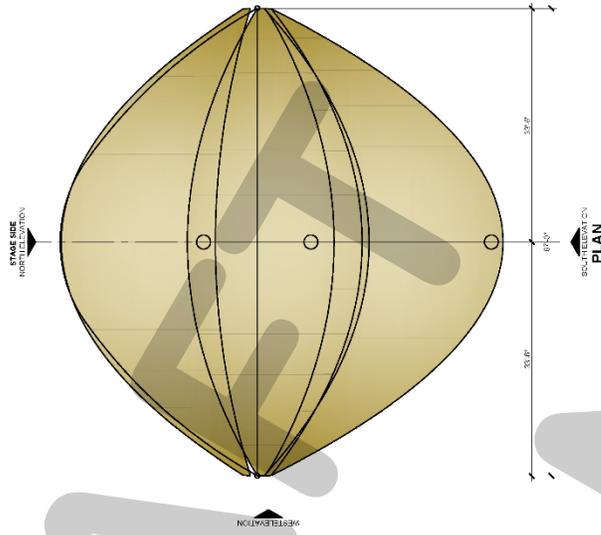
NEW DRASS SEATING

NEW CONC  
PERIMETER WALK

SEATING W/FRONTS

CASE # 2220205



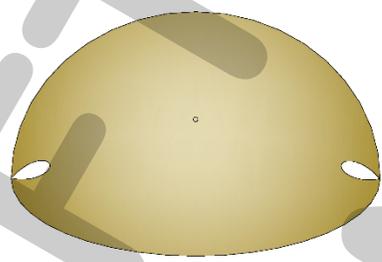


01 AMPHITHEATER TENSILE

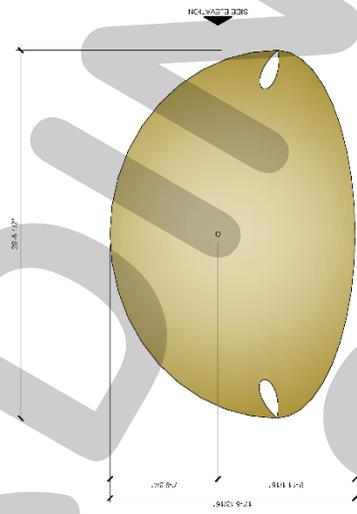
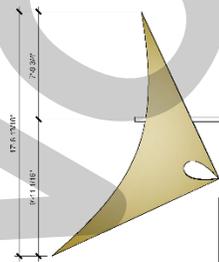
SCALE: 1/8" = 1'-0"

SP-22-200037

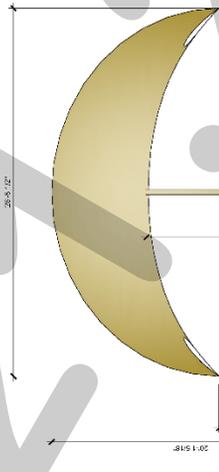
DRAFT  
ORDINANCE  
12.21.2020



PLAN



FRONT ELEVATION



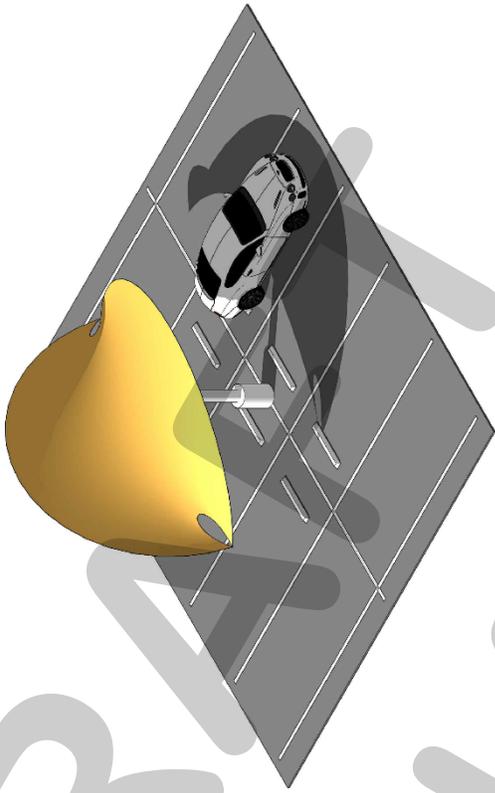
FRONT ELEVATION

SIDE ELEVATION

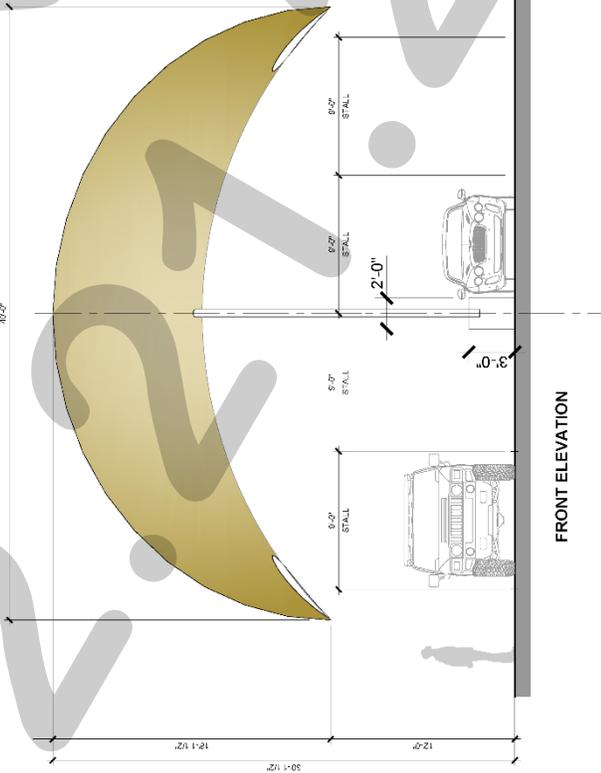
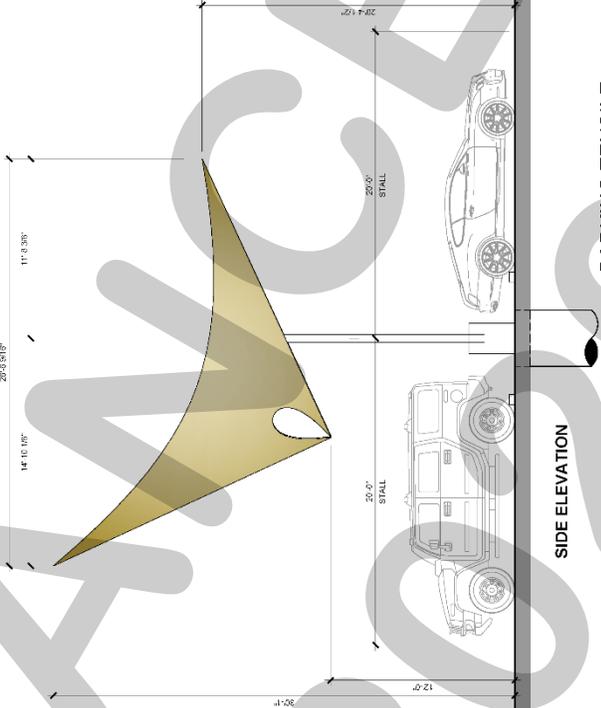
01 SMALL TENSILE

SCALE: 1/4" = 1'-0"

SP-20-000247



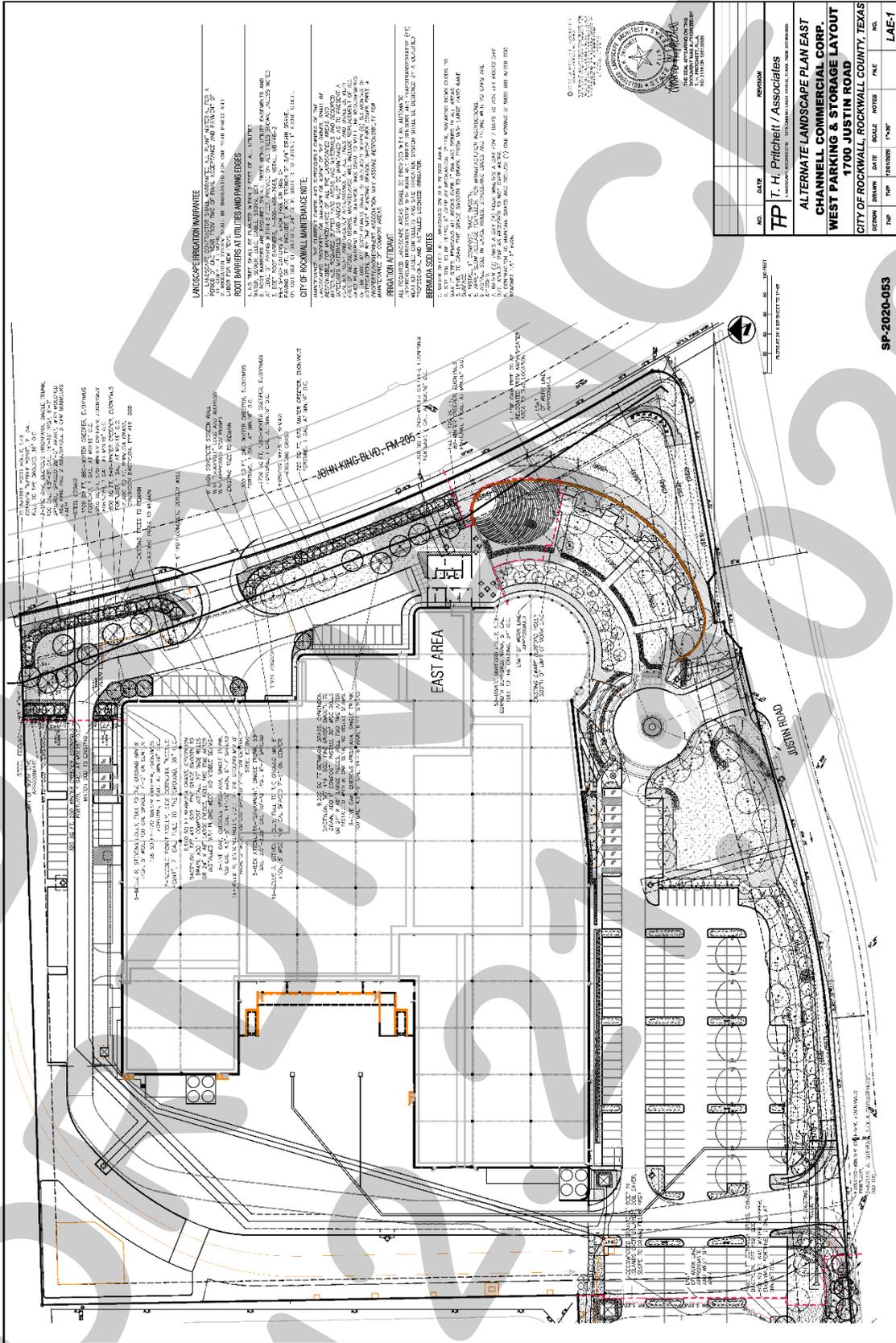
NO. 1 WALL - 0105



01 PARKING TENSILE  
SCALE 1/4" = 1'-0"

SP-200027





**LANDSCAPE MAINTENANCE**

LANDSCAPE MAINTENANCE SHALL INCLUDE: MOWING, WEEDING, TRIMMING, PRUNING, AND WATERING. MAINTENANCE SHALL BE PERFORMED ON A REGULAR BASIS AS SPECIFIED IN THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR MAINTENANCE ACTIVITIES.

**ROOT BARRIERS AT UTILITIES AND PAVING EDGES**

INSTALL ROOT BARRIERS AT ALL UTILITIES AND PAVING EDGES TO PREVENT ROOT GROWTH FROM DAMAGING UTILITIES AND PAVING. ROOT BARRIERS SHALL BE INSTALLED AT A MINIMUM OF 18 INCHES DEEP AND 12 INCHES WIDE. ROOT BARRIERS SHALL BE INSTALLED AT ALL UTILITY LOCATIONS AND AT ALL PAVING EDGES.

**CITY OF ROCKWALL MAINTENANCE NOTE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AND PAVING EDGES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR MAINTENANCE ACTIVITIES.

**PERMITS AND NOTICES**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AND PAVING EDGES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR MAINTENANCE ACTIVITIES.



NO.	DATE	REVISION
1		REVISION

**T. H. Pritchett / Associates**  
 ALTERNATE LANDSCAPE PLAN EAST  
 CHANNEL COMMERCIAL CORP.  
 WEST PARKING & STORAGE LAYOUT  
 1700 JUSTIN ROAD  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SP-2020-053  
LAE-1

DRAFT 2020



PROPOSED FIBER FACILITY B/S  
55,760 S.F.

JUSTIN RD

INDUSTRIAL BLVD

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive	+	1.6 fc	7.0 fc	0.0 fc	N/A	N/A
East Car Parking	+	3.0 fc	9.2 fc	0.4 fc	23.0:1	7.5:1
Equipment Area	+	2.0 fc	7.4 fc	0.3 fc	24.7:1	6.7:1
S Car Parking	+	1.3 fc	7.0 fc	0.3 fc	23.3:1	4.3:1
Truck Court	+	1.2 fc	4.3 fc	0.0 fc	N/A	N/A
West Car Parking	+	1.3 fc	3.5 fc	0.4 fc	8.8:1	3.3:1

01 SITE PLAN - PHOTOMETRIC



### **I.1 Purpose.**

The purpose of this Planned Development District ordinance is to provide flexible design standards to accommodate an industrial campus that incorporates unique architecture and land uses that are otherwise not permitted in the Light Industrial (LI) District. These land uses include an industrial facility with corporate offices, a distribution center, a light assembly center, an amphitheater and pavilion, and outside storage.

### **I.2 Review Process.**

All development on the *Subject Property* shall require site plan approval in accordance with Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon submittal of a site plan, the Director of Planning and Zoning shall review the application and determine the following: [1] if the Director of Planning and Zoning determines that the site plan does generally conform to this Planned Development District ordinance then the site plan may be reviewed and approved administratively, or [2] if the Director of Planning and Zoning determines that the site plan does not generally conform to this Planned Development District ordinance then the site plan will be subject to review by the Architectural Review Board (ARB) *[if necessary]*, and the Planning and Zoning Commission.

### **I.3 Planned Development District Standards.**

- (1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, only those uses permitted within the Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards required for property in a Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), are applicable to any development on the *Subject Property*.
  - (a) Setbacks. The building setbacks shall be as stated by the Unified Development Code (UDC); however, the following exceptions shall be permitted:
    - (1) Justin Road. Concrete screening walls shall be permitted to be located a minimum of ten (10) feet from the property line adjacent to Justin Road; however, these screening walls shall not be located within 50-feet of John King Boulevard *[unless permitted to do so be 1.3(2)(a)(2) below]*.
    - (2) John King Boulevard. Concrete screening walls and other appurtenances associated with the amphitheater may be located within 20-feet of the property line adjacent to John King Boulevard.
  - (b) Materials. All materials shall generally conform to the materials depicted in the *Concept Building Elevations* contained in *Exhibit 'D'* of this Planned Development District ordinance; however, tilt-up walls with a sandblasted finish shall be permitted *by-right* on buildings and screening walls in conformance with all concept

plans contained in *Exhibits 'C' – 'H'* of this Planned Development District ordinance.

DRAFT  
ORDINANCE  
12.21.2020



## MEMORANDUM

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**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** Z2020-054; SPECIFIC USE PERMIT FOR AN ACCESSORY BUILDING AT 707 PARKS AVENUE

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### Attachments

Case Memo  
Development Application  
Location Map  
HOA Notification Map  
Neighborhood Notification Email  
Property Owner Notification Map  
Property Owner Notification List  
Public Notice  
Property Owner Notification  
Survey  
Building Elevations  
Applicant's Photo  
Draft Ordinance

### Summary/Background Information

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of an ordinance for a *Specific Use Permit* allowing an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary (1st Reading).

### Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP). This request will require a supermajority vote of the City Council members present (*e.g. six out of the seven members present*).



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** December 21, 2020  
**APPLICANT:** Corky Belanger  
**CASE NUMBER:** Z2020-054; *Specific Use Permit for an Accessory Building at 707 Parks Avenue*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

### BACKGROUND

The subject property is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. The 1934 Sanborn Maps -- *which are dated August 25, 1934* -- show the subject property as being vacant. According to the City's historic zoning maps the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. By May 16, 1983, this designation had changed to Single-Family 7 (SF-7) District. According to the Rockwall Central Appraisal District (RCAD), a ~946 SF single-family home and 32 SF covered porch was constructed on the subject property in 1995, a 64 SF deck was constructed in 2005, a 255 SF accessory building was constructed in 2000, and a 150 SF deck was constructed in 2018. According to the applicant the accessory building was removed from the subject property after it was damaged by storms in 2019.

### PURPOSE

The property owner and applicant -- *Corky Belanger* -- is requesting the approval of a Specific Use Permit (SUP) to permit the construction of an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 707 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) single-family homes (*i.e. 709 & 711 Parks Avenue and 512 Heath Street*) on three (3) parcels of land zoned Single-Family 7 (SF-7) District. Beyond this is Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several homes zoned Single Family 7 (SF-7) District.

South: Directly south of the subject property are four (4) single-family homes (*i.e. 601, 605, 701, & 705 Parks Avenue*) on four (4) parcels of land zoned Single-Family 7 (SF-7) District. Beyond this is Lillian Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this are five (5) single-family homes (*i.e. 505, 507 & 509 Parks Avenue and 507 & 509 Williams Street*) on five (5) parcels of land zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is Parks Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are eight (8) single-family homes (*i.e. 602, 604, 606, 610, 702, 706, 708 & 714 Parks Avenue*) on eight (8) parcels of land zoned Single-Family 7 (SF-7) District. East of this is N. Clark Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is an unutilized alleyway right-of-way. Beyond this are eight (8) single-family homes (*i.e. 500, 502 & 504 Heath Street; 808 & 806 Austin Street; and, 501, 503 & 505 Cornelia Street*) on eight (8) parcels of land zoned Single-Family 7 (SF-7) District. Beyond this is Austin Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application, survey, and framing plan requesting to permit a proposed 600 SF accessory building. The applicant has also indicated that the accessory building will have a 2:12 pitched roof, incorporate a single garage door, and have a total height of 11-feet 4-inches. Based on the framing plan the building footprint is 20' x 30' (*or 600 SF*). The exterior and roof of the accessory building will be clad with 26-gauge metal sheets. The proposed building will be situated at the rear of the subject property, adjacent to the southwestern property line, and be situated a minimum of three (3) feet from the rear property line and six (6) feet from the side yard property line.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from the rear property line and six (6) feet from the side property line. Accessory buildings are required to have a minimum of six (6) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

## **STAFF ANALYSIS**

In this case, the applicant's request conforms with the setback and height requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 456 SF. Staff performed a review of the aerial imagery of the homes in the surrounding area (*a total of 29 single-family homes are in this area*) and determined that there does not appear to be any accessory buildings in the area of a similar size as to what the applicant is proposing. Staff should also note that 21 of the 29 homes surveyed had accessory structures, with the largest accessory structure observed being a detached garage that is 528 SF. The average size of all accessory structures analyzed is 211 SF, and the average size of the accessory structures excluding detached garages is 153 SF. The applicant has also indicated the accessory structure will be completely enclosed behind a newly constructed 8-foot cedar fence issued by building permit No. BLD2020-1365. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On November 18, 2020, staff mailed 115 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner's Association (HOA), which is the only HOA/Neighborhood Organizations that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted, staff has received one (1) notice input form in favor of the applicant's request.

## CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
  - (b) The *Accessory Building* shall not exceed a maximum size of 600 SF; and
  - (c) The subject property shall not have more than one (1) accessory building.
- (2) The applicant will need to construct a concrete foundation that can support the proposed accessory structure; and
- (3) The applicant will need to apply for a building permit from the Building Inspections Department; and
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## PLANNING AND ZONING COMMISSION

On December 8, 2020, the Planning and Zoning Commission voted to recommend denial of the Specific Use Permit (SUP) by a vote of 7-0. According to *Subsection 02.03(G), Protest of Zoning Change, of Article XI, of the Unified Development Code (UDC)*, if a recommendation for denial is made by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-054

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 707 PARKS AVE

Subdivision \_\_\_\_\_ Lot 9 Block C

General Location DOWNTOWN

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL

Current Use 1/

Proposed Zoning RESIDENTIAL

Proposed Use 1/

Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CORRY BELANGER

Applicant \_\_\_\_\_

Contact Person CORRY BELANGER

Contact Person \_\_\_\_\_

Address 921 N. ALAMO RD

Address \_\_\_\_\_

City, State & Zip ROCKWALL TX 75087

City, State & Zip \_\_\_\_\_

Phone 561.531.2328

Phone \_\_\_\_\_

E-Mail CORRYWBELANGER@GMAIL

E-Mail \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

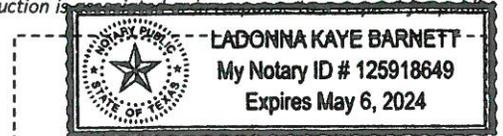
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is permitted by the copyright owner or its agent. Information."

Given under my hand and seal of office on this the 13<sup>th</sup> day of November, 2020

Owner's Signature \_\_\_\_\_

Notary Public in and for the State of Texas

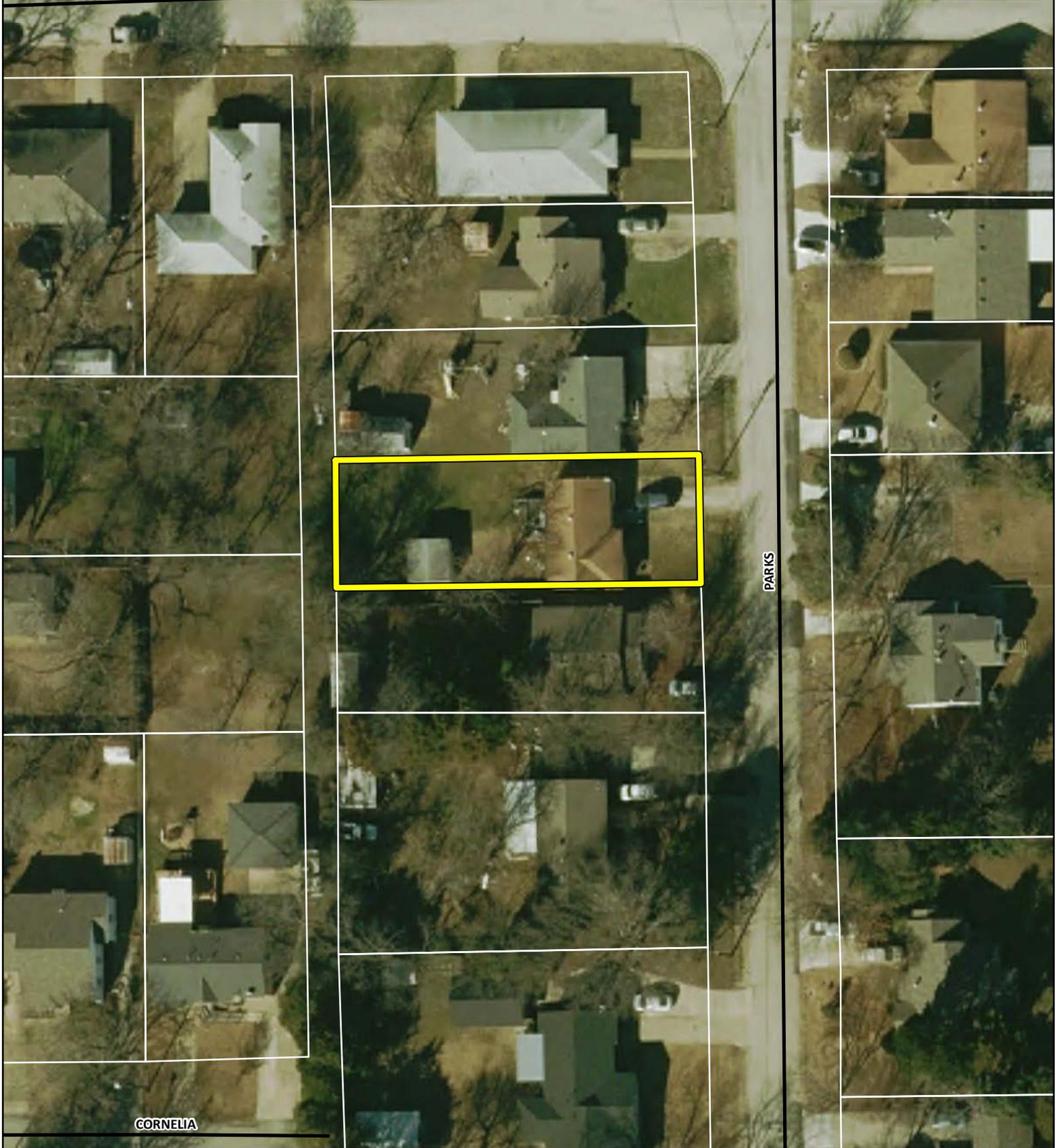
Ladonna Kaye Barnett



My Commission Expires May 6, 2024



Z2020-054- SUP FOR 707 PARKS AVENUE  
ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

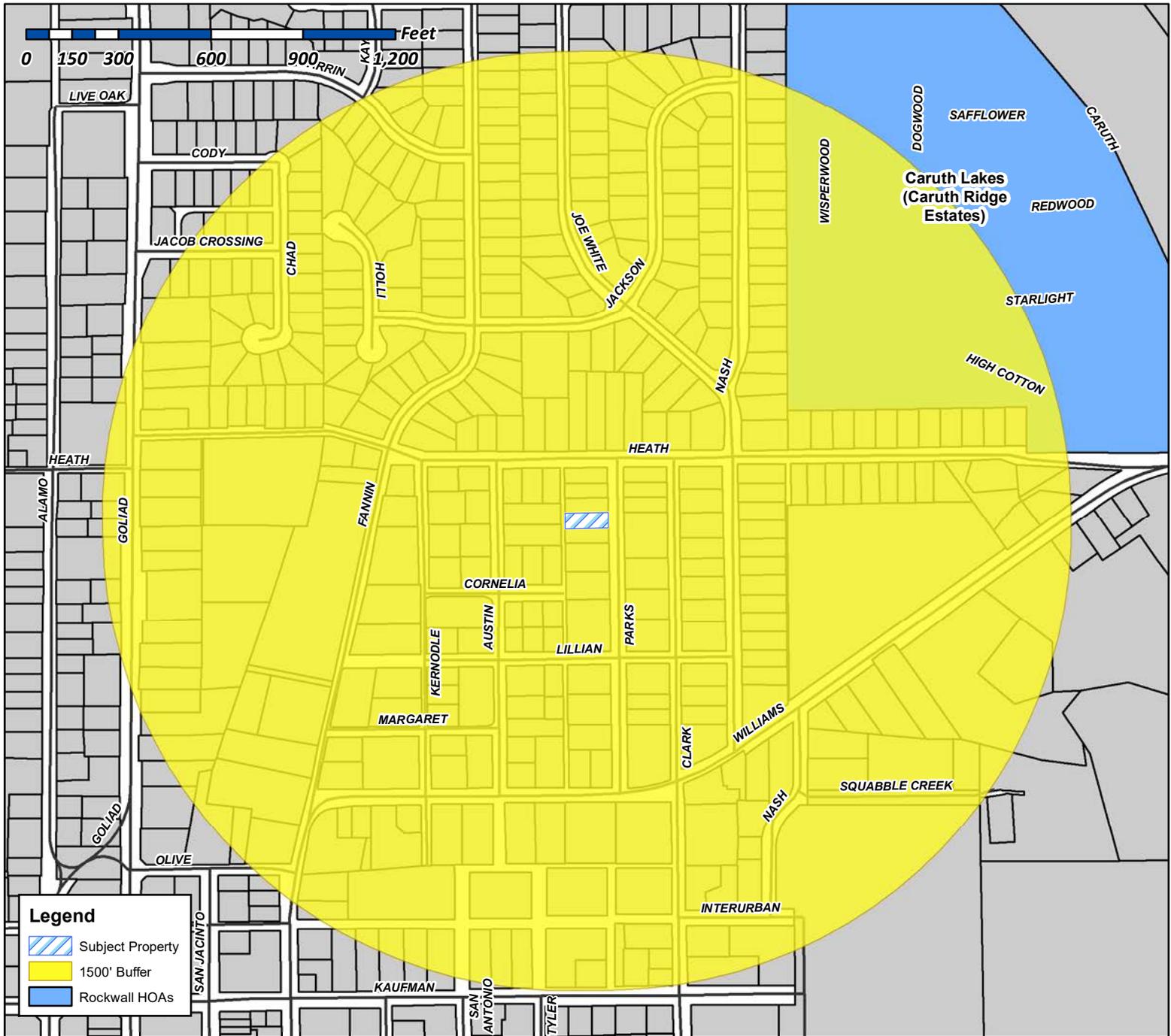
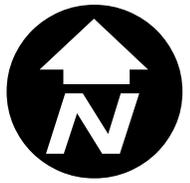




# City of Rockwall

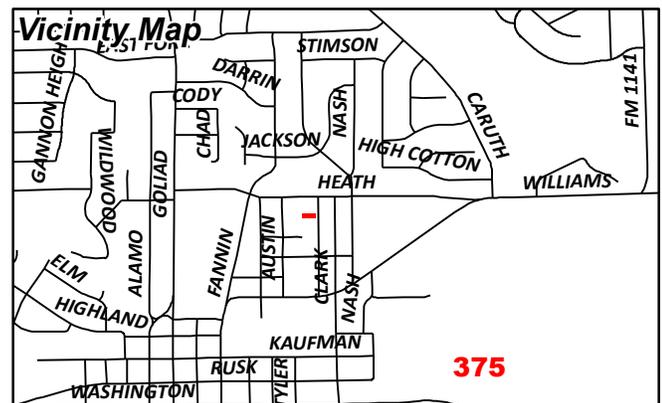
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-054  
**Case Name:** SUP for an Accessory Structure  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 707 Parks Avenue

**Date Created:** 11/13/2020  
**For Questions on this Case Call (972) 771-7745**



## Lee, Henry

---

**From:** Gamez, Angelica  
**Sent:** Wednesday, November 18, 2020 2:30 PM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program  
**Attachments:** HOA Map Z2020-054.pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2020-054 Specific Use Permit for an Accessory Structure**

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a *Specific Use Permit* for an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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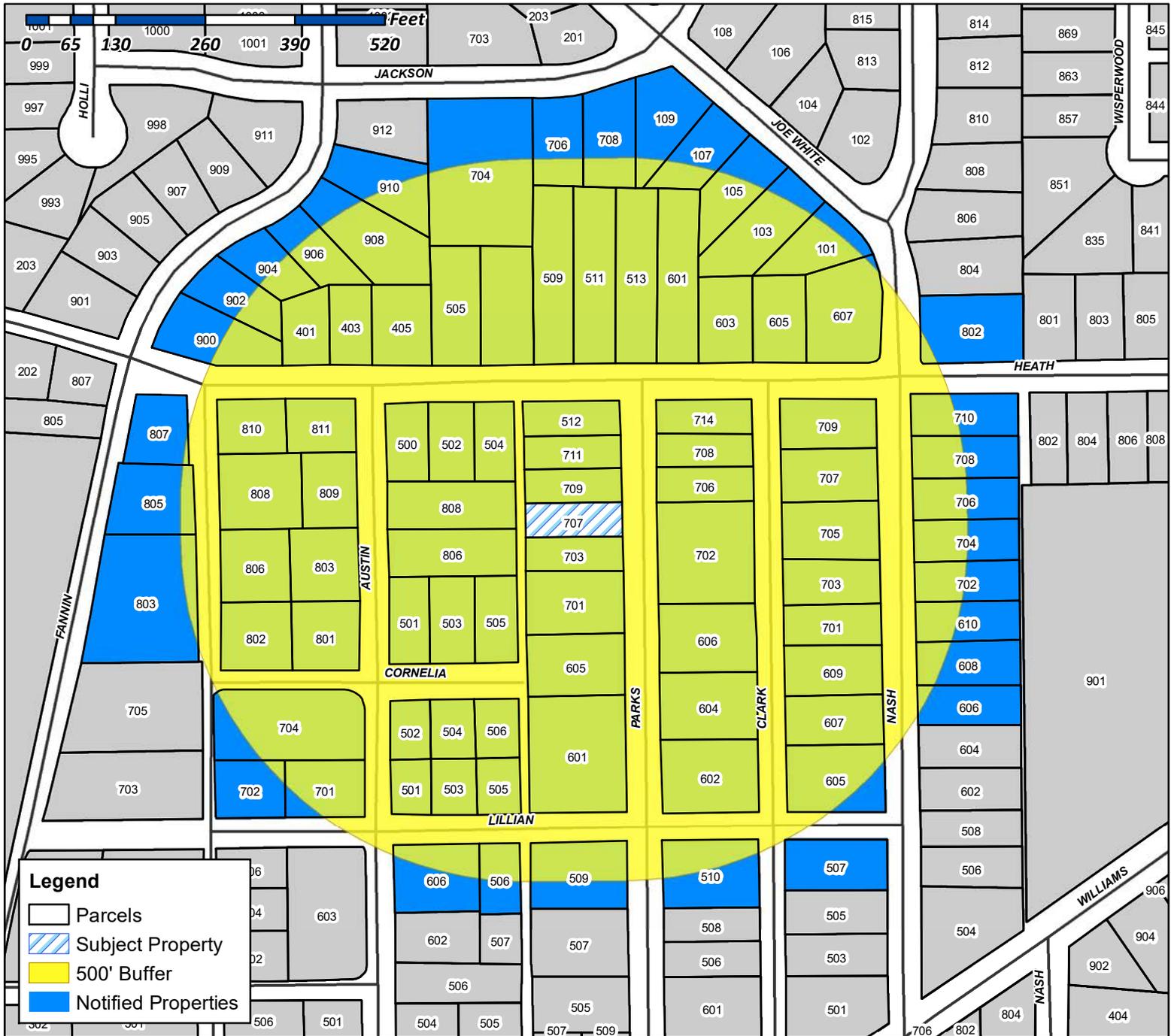
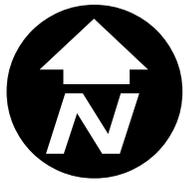
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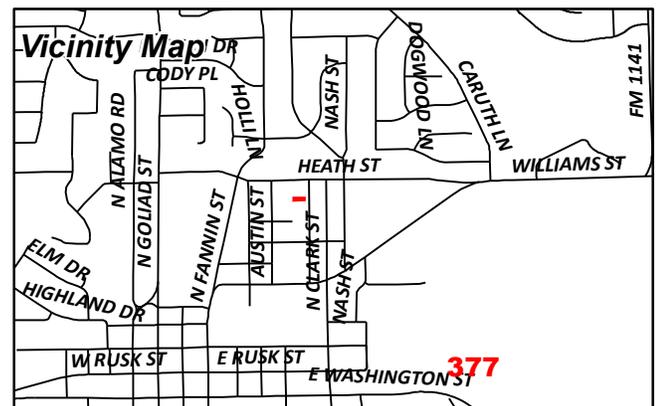
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2020-054  
**Case Name:** SUP for an Accessory Structure  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 707 Parks Avenue



**Date Created:** 11/13/2020  
**For Questions on this Case Call** (972) 771-7745

ROLAND RANDY C AND ANDREA B  
101 JOE WHITE ST  
ROCKWALL, TX 75087

GLASS JERRY R  
103 JOE WHITE ST  
ROCKWALL, TX 75087

SILVA MANUEL  
1041 E FM 552  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
105 JOE WHITE ST  
ROCKWALL, TX 75087

KRIZAN RASTISLAV  
107 JOE WHITE  
ROCKWALL, TX 75087

PEOPLES JIMMIE DALE  
109 JOE WHITE ST  
ROCKWALL, TX 75087

BREWER SHERI RENEE  
119 SUNRISE VISTA WAY  
PONTE VEDRA, FL 32081

LAWRENCE RUSSELL W AND KELLY D  
12 AMITY LANE  
ROCKWALL, TX 75087

SABRSULA MELISSA  
1571 ANNA CADR RD  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
2 MANOR COURT  
HEATH, TX 75032

HENRY AMANDA A  
205 S CLARK  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES  
213 SOVEREIGN CT  
ROCKWALL, TX 75032

PARK ALLEN  
2301 LAFAYETTE DR  
HEATH, TX 75032

BLAZEK ALVIN F & DOROTHY H  
2614 W 10TH ST  
DALLAS, TX 75211

GLASS JERRY R  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

LUSK VIVIAN E AND  
EARNEST TIPPING  
401 EAST HEATH STREET  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
403EHEATH ST  
ROCKWALL, TX 75087

PARK ALLEN  
405EHEATHST  
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D  
500 E HEATH ST  
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M  
501 CORNELIA ST  
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN  
501 LILLIAN ST  
ROCKWALL, TX 75087

BARNETT GEORGE S  
502 CORNELIA ST  
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA  
502 E HEATH ST  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
503 CORNELIA  
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC  
503 LILLIAN ST  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
504 CORNELIA  
ROCKWALL, TX 75087

TANTON MELVIN V JR  
504 E HEATH ST  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
505 CARRIAGE TR  
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN  
505 CORNELIA  
ROCKWALL, TX 75087

BARRON GILDARDO  
505 LILLIAN ST  
ROCKWALL, TX 75087

VANHORN PENNI AND  
JOE ZYLKA AND BONNIE ZYLKA  
505 E HEATH ST  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
506 CORNELIA  
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE  
506 LILLIAN ST  
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE  
507 NASH ST  
ROCKWALL, TX 75087

DOROTIK DAVID W  
509 PARKS AVE  
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES  
509 E HEATH ST  
ROCKWALL, TX 75087

RICHARDSON PATRICE  
510 COVE RIDGE RD  
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN  
510 PARKS AVE  
ROCKWALL, TX 75087

RICHARDSON PATRICE  
511 E HEATH ST  
ROCKWALL, TX 75087

COATS LOIS LOUISE  
512 E HEATH ST  
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY  
513 E HEATH ST  
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH  
601 PARKS AVE  
ROCKWALL, TX 75087

STEGALL VENTURES LLC  
601 SUNSET HILL DRIVE  
ROCKWALL, TX 75087

STARK ROBERT C  
601 E HEATH ST  
ROCKWALL, TX 75087

LEAL ROLAND & CAROL  
602 PARKS AVENUE  
ROCKWALL, TX 75087

SUTTON JUDITH A  
603 E HEATH ST  
ROCKWALL, TX 75087

FUQUA MATTHEW  
604 PARKS AVE  
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA  
605 NASH ST  
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM  
605 PARKS AVE  
ROCKWALL, TX 75087

STARK ROBERT S & TINA J  
605 E HEATH ST  
ROCKWALL, TX 75087

DANIEL RODNEY  
606 AUSTIN ST  
ROCKWALL, TX 75087

GALASSI TORI D  
606 NASH ST  
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN  
606 PARKS AVE  
ROCKWALL, TX 75087

SPERLING SANDY  
607 E HEATH ST  
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H  
607 NASH ST  
ROCKWALL, TX 75087

STARK ROBERT S & TINA J  
607 SAINT MARY ST  
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA  
608 NASH ST  
ROCKWALL, TX 75087

TORRES ROSIE  
609 NASH ST  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
610 NASH ST  
ROCKWALL, TX 75087

CASTRO RENE & BETSY  
700 WINDSONG LN  
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE  
701 AUSTIN ST  
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H  
701 NASH ST  
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA  
701 PARKS AVE  
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H  
702 KERNODLE ST  
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER  
702 NASH ST  
ROCKWALL, TX 75087

HENRY AMANDA A  
702 PARKS AVE  
ROCKWALL, TX 75087

ELLISTON REBECCA S  
703 NASH STREET  
ROCKWALL, TX 75087

HANSON BRANDON R  
703 PARKS AVE  
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE  
704 JACKSON ST  
ROCKWALL, TX 75087

THOMAS TRACY  
704 KERNODLE ST  
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS  
704 NASH ST  
ROCKWALL, TX 75087

RUSHING BRIAN AND  
CHANEL KENTOPP  
705 NASH ST  
ROCKWALL, TX 75087

ZYLKA PENNI R  
706 JACKSON ST  
ROCKWALL, TX 75087

ARELLANO JESUS L &  
CYNTHIA A HERRERA  
706 NASH ST  
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN  
706 PARKS AVE  
ROCKWALL, TX 75087

MCCLAIN LOUETTA  
707 NASH ST  
ROCKWALL, TX 75087

BELANGER CORKY  
707 PARKS AVE  
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH  
708 JACKSON ST  
ROCKWALL, TX 75087

SABRSULA MELISSA  
708 NASH ST  
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D  
708 PARKS AVE  
ROCKWALL, TX 75087

BREWER SHERI RENEE  
709 NASH ST  
ROCKWALL, TX 75087

BARRON ARMANDO  
709 PARKS AVE  
ROCKWALL, TX 75087

STARK ROBERT C  
710 AGAPE ST  
ROCKWALL, TX 75087

KING MISTY  
710 NASH STREET  
ROCKWALL, TX 75087

NIXON ALBERT  
711 PARKS AVE  
ROCKWALL, TX 75087

PALMER LINDA C  
714 PARKS AVE  
ROCKWALL, TX 75087

BEASLEY GEORGE  
801 AUSTIN ST  
ROCKWALL, TX 75087

KINSEY DONALD H AND TARI L  
802 KERNODLE STREET  
ROCKWALL, TX 75087

STEGALL VENTURES LLC  
802 NASH ST  
ROCKWALL, TX 75087

SILVA MANUEL  
803 AUSTIN ST  
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M  
803 KERNODLE ST  
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C  
805 KERNODLE ST  
ROCKWALL, TX 75087

AUSTIN TRENTON C  
806 AUSTIN ST  
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D  
806 KERNODLE ST  
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX  
807 KERNODLE ST  
ROCKWALL, TX 75087

CASTRO RENE & BETSY  
808 AUSTIN ST  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
808 KERNODLE ST  
ROCKWALL, TX 75087

KINDRED ROBERT M  
809 AUSTIN ST  
ROCKWALL, TX 75087

JOSEY BROOKE  
810 KERNODLE ST  
ROCKWALL, TX 75087

JENNINGS AMANDA L  
811 AUSTIN ST  
ROCKWALL, TX 75087

MCCLAIN LOUETTA  
8309 TURNBERRY ST  
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C  
880 IVY LN  
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3  
8916 MEADOW KNOLL  
DALLAS, TX 75243

WILSON CHARLES W  
900 N FANNIN ST  
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G  
902 N FANNIN STREET  
ROCKWALL, TX 75087

HALL WYNNE &  
JOANN CAMPBELL  
904 N FANNIN ST  
ROCKWALL, TX 75087

WILLIAMS BROOKS  
906 FANNIN STREET  
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3  
908 N FANNIN ST  
ROCKWALL, TX 75087

JESSEE DAVID AND A JANE  
910 N FANNIN ST  
ROCKWALL, TX 75087

BELANGER CORKY  
921 N ALAMO RD  
ROCKWALL, TX 75087

KINDRED ROBERT M  
P.O. BOX 261638  
PLANO, TX 75026

GRIFFIN PATTY JEAN CORNELIUS  
PO BOX 511  
FATE, TX 75087

AWAJA PROPERTIES LLC  
PO BOX 811  
ROYSE CITY, TX 75189

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-054: Specific Use Permit for an Accessory Structure**

*Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-054: Specific Use Permit for an Accessory Structure**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for handwritten comments]

Name: [Grey bar]  
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-054

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

First Name \*

Mary

Last Name \*

Frasier

Address \*

704 Jackson

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Email Address \*

marygfrasier@gmail.com

Phone Number

214-728-5741

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

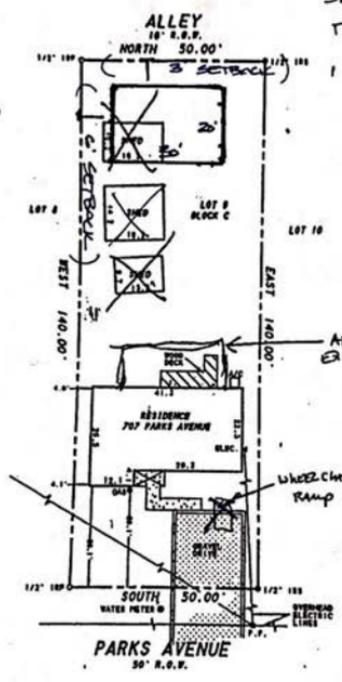
This content is neither created nor endorsed by Google.

Google Forms

*H. C. [Signature]*

**WOOD SHOP  
SLAB ON GRADE  
METAL STRUCTURE**

X- NOT THERE  
NEVER HAVE BEEN



ADDED TO  
EXISTING DECK

WHEEL CHAIR  
RAMP

**DESCRIPTION**

LOT 8, BLOCK C OF THE POWER ADDITION TO THE CITY OF ROCKFALL, ROCKFALL COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREON, RECORDED IN VOLUME 11, PAGE 606 DEED RECORDS, ROCKFALL COUNTY, ILLINOIS.

**NOTES**

1) ACCORDING TO A P.U.L. Flood Insurance Rate Map, Community Panel No. 480547 0005 C, 480548 0005 C, 480549 0005 C, THIS PROPERTY IS IN Zone 1. THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A 100-YEAR FLOOD PLAIN.

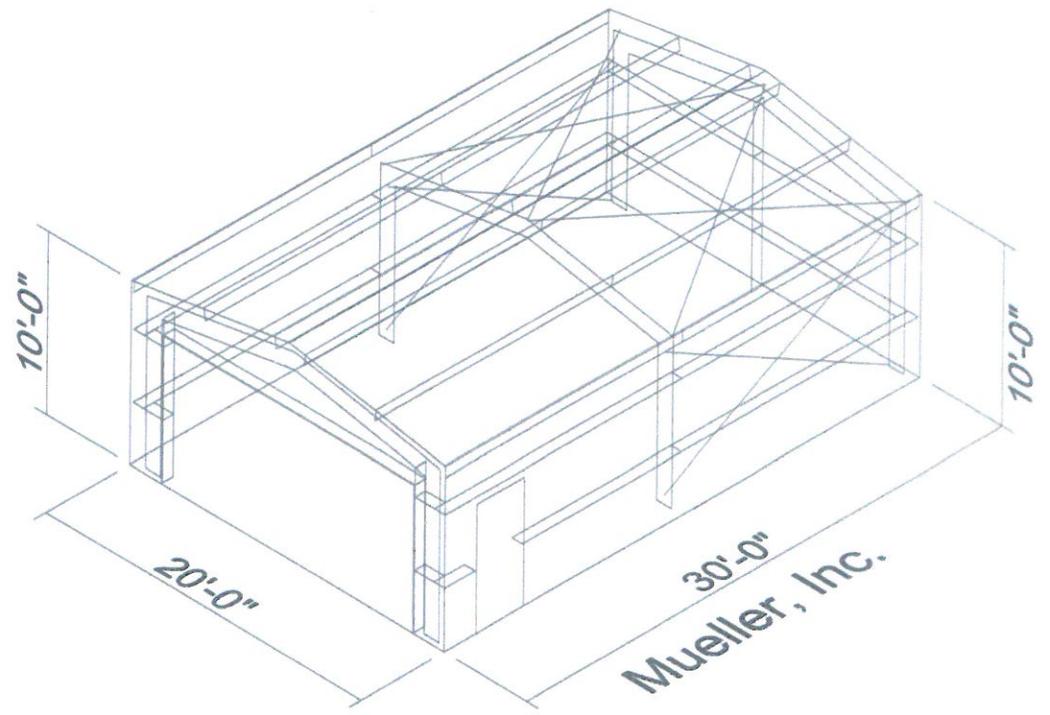
2) SEALING SOURCE RECORDED PLAT

I, Ronald B. Peilly, III, Registered Professional Land Surveyor, State of Texas, do certify as follows: That the above plat, showing the Urban Survey, and certain representations of the property, property being indicated and referred to, has been prepared by me within the boundaries of my State of Texas, and that I am a duly Licensed Surveyor in the State of Texas, and that I am the author of the same. I have not been convicted of any crime involving dishonesty, fraud or deceit, and I am not under any suspension or revocation of my license as a Surveyor in the State of Texas.

**STOVALL & ASSOCIATES**

*[Signature]*  
Surveyor









CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK E, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Corky Belanger for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.161-acre parcel of land described as Lot 9, Block E, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 600 SF.
- (3) The subject property shall not have more than one (1) accessory building.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF JANUARY, 2021.**

\_\_\_\_\_  
Jim Pruitt, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: December 21, 2020

2<sup>nd</sup> Reading: January 4, 2021

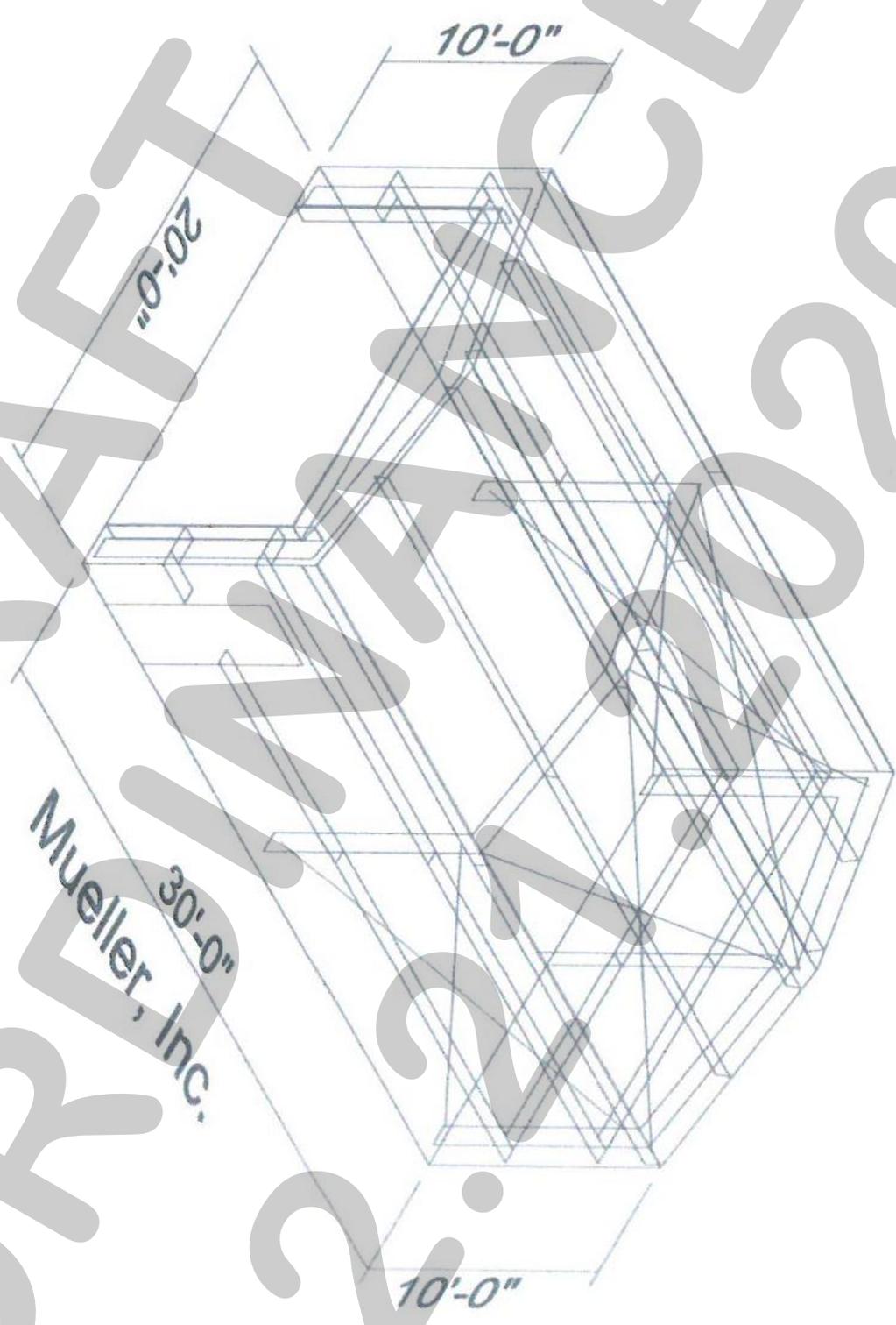
DRAFT  
ORDINANCE  
12.21.2020

Address: 707 Parks Avenue  
Legal Description: Lot 9, Block C, Foree Addition





DRAFT  
12:21:2020  
ORIGINATOR





## **CITY OF ROCKWALL, TEXAS MEMORANDUM**

---

**TO:** Honorable Mayor and City Council

**CC:** Rick Crowley, City Manager  
Joey Boyd, Assistant City Manager  
Mary Smith, Assistant City Manager

**THRU:** Travis E. Sales, Director of Parks and Recreation

**FROM:** Park and Recreation Advisory Board as the Park Naming Committee

**DATE:** December 21, 2020

**SUBJECT:** Ruby Dabney Swimming Pool Name Change Request at Gloria Williams Park

---

October 19, 2020: Randall Bryant asked that the matter be tabled to give him a chance to reach out to the Williams Family.

October 20, 2020: Travis E. Sales Director Parks and Recreation reached out to the Williams family contact and provided Randall Bryant's contact information and that he requested that they call him to discuss the request. The contact stated that they would discuss with the family and might contact him, but it would be a couple of weeks.

December 7, 2020: Randall Bryant reported that there had been no communications between the families to date. Councilman Fowler recommended tabling the item, so that Council could review the entire packet in detail and put the item on the next council agenda.

The Park and Recreation Advisory Board serving in its capacity as the Park Naming Committee recommends that the City Council advise the Ruby Dabney Family that the board feels the best way to memorialize Mrs. Ruby Dabney would be through the Park and Recreation Memorial and Donation Catalog. The family can choose a variety of options such as plaques or equipment that could be placed at the pool acknowledging her story.

The Park and Recreation Board after hearing the Ruby Dabney story from her family along with a petition did request additional documentation from the Dabney family such as newspaper articles and letters from people impacted by her. The Board did not receive any additional information. The board did receive documentation from citizens in the form of letters and newspaper articles showing that Gloria Williams was the driving force behind the park / pool and that they did not want to see the pool name changed for those reasons. After all the documentation was received for and against the name change request, the board then researched the information we had before us and talked to the individuals named in documentation. We did this to obtain as much information as possible to support our decision. The board felt that the going through the process of the Park and Recreation Memorial and Donation Policy versus changing the name of the pool was the most appropriate option to recognize Mrs. Ruby Dabney.

The Park and Recreation Advisory Board serving in its capacity of the Park Naming Committee recommends that the swimming pool at Gloria Williams Park remain part of Gloria Williams Park and that the Dabney Family contact the Park and Recreation Department to discuss options for a Ruby Dabney Memorial within the Park and Recreation Memorial and Donation catalog. The Park and Recreation Advisory Board serving in its capacity as the Park Naming Committee also recommends that the City of Rockwall allocate funds for a memorial for Ruby Dabney at the pool or otherwise inside Gloria Williams Park to recognize her dedication to the community and contributions as a former employee of the City of Rockwall.

Parks Advisory Board voted 6 – 0 (Denny absent) to recommend the family go through the Parks and Recreation Memorial and Donation Catalog and not rename the pool at Gloria Williams Park and an example of a recognition plaque was presented.

2006 Park  
Board &  
Council Action  
Renaming Park  
to Gloria  
Williams

5

**MINUTES OF PARKS AND RECREATION BOARD**  
**September 6, 2006**

10 **Call To Order**

The meeting was called to order in the City Council Chambers at 6:00 p.m. by Chairman Glenn Varner with the following Board members present: Brandi Patterson, Pam Kitkoski, Joe Witcraft, and Gail Caruth. Herb Moltzan and Dennis Lowry were  
15 absent.

Chairman Varner introduced Brandi Patterson and Gail Caruth to the Board. Ms. Patterson and Ms. Caruth will be replacing Pat Russell and Glen Farris on the Board.

20 **Approval of Minutes**

The preliminary draft of minutes from the previous meeting on August 1, 2006 was provided to the Board for their review and approval. Pam Kitkoski made a motion to accept the minutes as printed. Joe Witcraft seconded the motion which was voted on  
25 and passed with three in favor and two abstains.

**Receive Public Input for the Renaming of Southside Park after Ms. Gloria Williams**

30 At the August 2006 meeting, the Board had an appointment with members of the Southside Coalition to discuss and consider renaming Southside Park to Gloria Williams Park. Mr. Griggs stated that Ms. Williams has been a very active member of the community for many years and has contributed to the quality of life within the Southside area. The Board was provided with a copy of two newspaper articles that  
35 were written about Gloria Williams and her influence within the Southside community. The Board was also provided with a copy of the Facility Naming Policy. At this time, the Board opened the floor to any public input.

40 Glen Farris, 2330 Gold Coast Court, stated that Gloria Williams definitely deserves to have this park named after her, although he did caution the Board to be careful when setting this type of precedent.

45 Chairman Glen Varner stated that he had received a letter from Congressman Ralph Hall about Gloria Williams. In his letter, Mr. Hall stated that he admired her and she was a fine lady and a fine Rockwall Citizen. She was a very determined individual and her determination to develop a park for the Southside community was remarkable.

50 Rick Stockley, 706 Davy Crockett, stated that he is Gloria Williams nephew. Mr. Stockley stated that it is an honor for the Board to even consider the request and he appreciates it greatly. Ms. Williams provided the children of her community with so

many opportunities to travel and see other areas of the world. She was very involved in the community. Mr. Stockley told the Board what a great honor it would be for her to experience the park being named after her while she is still alive.

55 Sherri Fowler, 2974 SH 66, told the Board that Gloria Williams is a great example of courage. She fought for her education even when she was turned away from the public schools. Ms. Fowler stated that she highly recommends that the Southside Park be named after Gloria Williams for her courage and the example she set for so many adults and children. Ms. Williams is a very deserving individual of this honor.

60 Pastor Joe Robbins, 805 Peters Colony, stated that naming the park after Gloria Williams would be an honor and asked that the Board please consider the request.

65 Chairman Glenn Varner made a motion to make a recommendation to City Council to rename the Southside Park, Gloria Williams Park. Gail Caruth seconded the motion which was voted on and passed unanimously.

#### **Discuss and Consider Plats and Plans and Take Necessary Action**

70 The Board reviewed the final plat for **Dalton Ranch**. Dalton Ranch is generally located south of FM 552 and west of FM 1141 within Park District #6. The development consists of 142 residential lots within 63.222 acres. The preliminary plat was reviewed in January of 2005. The RISD will be building an elementary school on the northeast section of the property. The Board reviewed the preliminary plat on  
75 January 4, 2005 and the minutes from that meeting were provided to the Board. A representative from Winkelman and Associates was present to answer questions from the Board. After brief discussion, Joe Witcraft made a motion to accept the final plat with the following conditions:

- 80 • Developer to construct an eight foot (8') wide trail along FM 552 from the west property line to Lonestar Drive.
- Developer to construct a six foot (6') wide trail continuing south on Lone Star Drive on the east side of the road to Chuck Wagon Drive.
- 85 • Construct a six foot (6') wide trail in front of the residential lots on Chuck Wagon Drive, expand the trail to eight feet (8') wide in front of the school property and continue to Limestone Way and FM 1141.
- Developer to build a six foot (6') wide trail on the eastern side of the development on the west side of FM 1141 from Limestone Way south to N. Country Lane.
- 90 • Accept a dedication of 2.023 acres of park land on the north side of the elementary school site.
- Accept pro-rata equipment fees in accordance with the Mandatory Parkland Dedication Ordinance. Pro-rata equipment fees are \$353 per lot for a total of \$49, 773.
- 95 • Developer to include a 2" water tap to the park site and conduit for future electrical service to the park property.

Pam Kitkoski seconded the motion which was voted on and passed unanimously.

100 The Board reviewed the PD site plan for **Evergreen**. Evergreen is a senior housing project located on the east side of SH 205 between the Justin Road Business Park and Ace Hardware south of the railroad tracks on SH 205. Zoning was recently approved for the development by the City Council. Since the Parks and Recreation Master Plan and Mandatory Park Land Dedication Ordinance addresses residentially zoned properties and the zoning was changed from commercial to residential, the area must  
105 be added to an existing park district. After much discussion, Pam Kitkoski made a motion to accept cash in lieu of land and pro-rata equipment fees in accordance with the Mandatory Park Land Dedication Ordinance at the time of final plat and include the development in Park District #21. Gail Caruth seconded the motion which was voted on and passed unanimously.

110

#### **Election of Vice-Chairman**

The past Vice-Chairman, Glen Farris is no longer on the Board; therefore the Park Board is required to elect a new vice-chairman. Pam Kitkoski made a motion to table  
115 this item until the next Park Board meeting when all members are present. Brandi Patterson seconded the motion which was voted on and passed with four in favor and one against.

#### **Recreation Department Update**

120

Mr. Griggs announced that the Harbor completion date is set for September 18, 2006. October 12, 2006 is the tentative date for the invitation only Grand Opening. On Saturday, the Harbor Grand Opening will be open to the public.

125 The Doggie Splash Day event was held on Sunday, August 20<sup>th</sup> with a very large attendance.

#### **Park Department Update**

130 Mr. Griggs provided the Board with an update on the construction of the Park at Fox Chase, the Shores Park and the Highway 66 Boat Ramp Project.

#### **New Business/Upcoming Events**

135 Mr. Griggs stated that staff had met with the developer of the Arkoma development to discuss getting an access easement on the property for the DORBA project. They did allow the City to get an access easement so that DORBA can begin their project. Mr. Griggs stated that it will be an eight month project and will be approximately nine to ten miles of trails.

140

**Old Business**

145 The City budget was approved by a 4-3 vote by City Council on Monday. Another hearing will be on Monday, September 18, 2006. Included in the budget are three new employees for the Parks and Recreation Department.

**Adjournment**

150 There being no further business to come before the Board, the meeting was adjourned at 7:11 p.m.

155

**Minutes  
Rockwall City Council**

**September 18, 2006  
6:00 p.m. Regular Meeting  
City Hall, 385 S. Goliad, Rockwall, Texas 75087**

**I. CALL TO ORDER**

Mayor Cecil called the meeting to order at 6:00 p.m. Present were Mayor Bill Cecil and Councilmembers Bob Cotti, Stephen Straughan, Tim McCallum, Margo Nielsen, Matt Scott and Cliff Sevier. Also present were City Manager Julie Couch and City Attorney Pete Eckert.

**II. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER BOB COTTI**

**III. PROCLAMATIONS**

**1. Constitution Week – Daughters of the American Revolution**

Carolyn Francisco of the Daughters of the American Revolution came forward to receive the proclamation.

**2. WomenAid Month – Soroptimist International of Rockwall**

Several members of the Rockwall Soroptimists came forward to receive the proclamation. In support of their work, Councilmember Margo Nielsen purchased the first cookbook for 2006 and spoke about the important work they do in our community.

**3. National Credit Education Week –Consumer Credit Counseling Service**

Stacy Phillips of Consumer Credit Counseling Service came forward and accepted the proclamation.

Mayor Cecil advised the audience that he would be adjusting the order of the items on tonight's agenda. Mayor Cecil then stated that the Council would consider Action Item #1 as follows:

- 1. Discuss and Consider a Park Board Recommendation to Change the name of Southside Park to Gloria Williams Park and take any action necessary.**

Councilmember Cotti talked about Gloria Williams and her contributions to the community. Cotti then made a motion to approve the Park Board recommendation to change the name of Southside Park to Gloria Williams Park and Councilmember Scott seconded the motion. The motion passed unanimously by a vote of 7 ayes and 0 nays.

Pastor Joe Robbins came forward and thanked the Council for their action and handed out a booklet to them of Ms. William's poetry. Ms. Gloria Williams was then wheeled forward by Councilmember Cotti. Ms. Williams thanked the Council for the honor and was given a standing ovation.

**IV. CONSENT ITEMS**

- 1. Consider approval of the Minutes from the September 5, 2006 City Council meeting and take any action necessary.**

Anonymous &  
Williams  
Family  
Documentation

Rockwall Parks & Recreation Board  
Travis Sales  
108 E. Washington St.  
Rockwall, TX 75087  
August 12, 2020

VIA CERTIFIED MAIL 7019 1640 0001 0612 0110

**RE: Objection to Renaming Southside Pool**

Dear Mr. Sales:

We would like to put in writing how we feel about the current request by the Dabney Family to rename the Southside Pool at Gloria Williams Park.

We are the descendants of Gloria Louise Williams. We met as a family about the request, and this letter is a consensus of our position.

While we all knew Ms. Ruby Dabney, and believe she was a nice lady, we were shocked and even insulted to hear about a request to rename the Southside Pool at Gloria Williams Park. And surprisingly, the family never notified us of their intention or asked how we felt about it.

Mr. Sales, if you look thru your records, you will see why she was bestowed such an honor to have a park named after her---all while she was still living to see it. We hope not to bore you, but we want to list some of her accomplishments and attributes. We realize her character or reputation is not on trial here. But we just wanted to remind the Park Board how deep her ties were to the Southside Pool.

She was a strong activist and community leader. She was encouraged to apply for City Council member, but declined. She was presented a key to the City of Rockwall, which she cherished. She was a "mover and shaker" and had a determined spirit. But primarily she didn't do things in her own might. She always gave credit to God for any successes and accomplishments. The difference in her as compared to a lot of activists is she strongly believed in non-violence, like Martin Luther King. She led the charge to have her whole community appear before the Rockwall City Council to prevent eminent domain in her neighborhood. She was asked by what was then the Rockwall Success newspaper to write monthly articles, which she did.

The purpose of detailing all of this (along with the attached articles) is to remind the Park Board of who she was and what she stood for. And essentially, why we oppose another person's name being attached to the Southside Pool.

We object to renaming the pool after another individual, whether it be Ms. Dabney or anyone else. We have nothing against her personally, but it's the principle. Ms. Dabney's family is asking for her name to be put on something that she neither contributed to nor was instrumental to its existence.

The following facts attest to what Ms. Williams did for her community and the Southside Pool:

1. She always dreamed of giving the neighborhood children memorable experiences like trips to Six Flags and traveling throughout the U.S, which she accomplished by chartering buses.
2. She was saddened that there was not any type of recreation for the black neighborhood children, so she sought to change that. And the rest, as they say, is history!
3. She came up with the idea to seek funding for a recreation center by approaching Dick Pickens, a wealthy citizen at that time. He didn't like the idea of a recreation center, but agreed to a swimming pool instead. Solely because of her, Mr. Pickens purchased the abandoned property where the pool is located today.
4. She oversaw the digging and construction of the pool from start to finish.
5. She spear-headed bake sales, raffles and other fund-raisers to help fund the pool.
6. She enlisted the help of people in the community to help paint the pool and keep the grass mowed.
7. She somehow managed to pay for lifeguards, attendants and chlorine on a meagerly low salary. (She was working as a maid at Varo, Inc. at the time.)
8. She managed the pool almost every day, after a hard day's work, because sometimes there was no one else to do it.
9. She took it upon herself to ask the Rockwall Fire Department to drain and fill the pool every year.
10. She was such a respected authority figure to all the children in the community (not just at the pool), that a lot of them lovingly called her "Aunt Glo."

Actually, these things don't tell the half! But knowing all of this, we hope the Park Board can see why we are vehemently opposed to Ms. Dabney's name going on a project that Ms. Williams figuratively poured blood, sweat and tears into. It would amount to stealing another man's thunder, so to speak.

Therefore, we request that the Southside Pool name remains unchanged, since the pool is within the Gloria Williams Park, and it is directly associated with her name. The dedication of the park was truly an honor to her, but the actual swimming pool is her legacy.

We are thankful for any consideration that this letter is given.

Sincerely,

The Gloria L. Williams Family



STEVE BLOW

# Hardship begets character

If only we could extract a drop of Gloria Williams' character and inject it in every student slacking through another school day.

What a school-improvement plan that would be.

Unfortunately, we don't know how to transplant character. All we can do is hear her story — and hope that inspiration follows.

She certainly doesn't frame her story in heroic terms. "I was just always school crazy,"



Gloria Williams

she said with a smile. "I made my little sister play school with me, whether she wanted to or not. And I was *always* the teacher."

Ms. Williams is 71 and a lifelong resident of Rockwall. Her story is especially pertinent now, as the 50th anniversary of the U.S. Supreme Court's *Brown vs. Board of Education* decision approaches.

That's the 1954 case that struck down segregated schools — the "separate but equal" standard.

Ms. Williams, who is black, throws her head back and laugh deeply at the notion schools were ever "separate but equal." Separate, for sure. "But they weren't no way kind of equal," she chuckled.

The most amazing thing about Ms. Williams is that the laugh is

STEVE BLOW

# A living example of overcoming challenges

Continued from Page 1B

genuine. Where bitterness might have settled in others, Ms. Williams laughs at our human folly.

To show you just how far from equal the black school was in Rockwall in the 1940s, there was no high school at all. "Black children could go to the eighth grade," Ms. Williams said. "Then they had to go to work."

Early on, Ms. Williams set her sights on becoming a teacher. "That was all I thought of," she said. But she saw a looming problem. She knew that a teacher needed more than an eighth-grade education.

She was thrilled when the two-room black school added a room and a ninth grade started just as she reached that level. But then came 10th grade.

"I knew the black school in Garland went to the 10th grade, so I started asking Mama and Daddy if I could go over there," she said.

Showing amazing gumption, the 15-year-old girl went to the head of the Garland school and talked her way in.

"The only way I could get there was to catch the Continental Trailways bus in Rockwall every morning at 6 a.m.," she said.

So before dawn each morning, little "Glo," as everyone called her, would walk the near mile from Rockwall's "colored town" to catch the bus in town.

If there was room, she would find a spot on the bench seat at the back of the bus — the only seating allowed to blacks. "If it was full, you just had to stand, no matter how many other empty seats there were," she said.

Ms. Williams completed the 10th grade. Then, for the next two years, she would ride the Trailways bus from Rockwall to Garland, then catch a school bus for a ride in to Dallas' Booker T. Washington High School.

"Ooh, that was a big-city

school, full of big-city kids," she laughed. "I was always so embarrassed because I was just a poor country girl.

"I never could start school until October because I had to help my family pick cotton. Those city kids didn't know anything about pickin' cotton or choppin' cotton."

Ms. Williams then added, "But I knew they couldn't beat me in knowledge because I was going to study harder."

She did just that, graduating early, in fact, with high honors.

Pursuing her dream of teaching, she enrolled at Prairie View A&M University. But while she was there, her mother died. "I had to come home," she said. "There was just no money."

Her dream of becoming a teacher ended there. And back to the cotton fields she went. When farm jobs played out in the 1950s, she went to work in a big manufacturing plant in Garland.

"I started as a maid and worked

my way up to a manager," she said. "So my education did help me."

Ms. Williams' education and gumption also made her an advocate for the black community in Rockwall. "I always tried to get along with everybody," she said. "But there also comes a time to stand up for right and righteousness."

She never married. "The men all said I didn't have time for them," she said, laughing again.

So though she has no children of her own, she is "Aunt Glo" to generations of young adults who grew up under her influence.

Degenerative arthritis leaves her in pain and in a wheelchair these days. But that smile is quick as ever.

I asked her about any regrets in life. I thought she might mention marriage or teaching. "I wish I could have done more for the youth," she said.

If only character could be transplanted.



# THE FEMININE VIEW

## As Did An Earlier Poet, She Quietly Pursues Happy Love Affair With Life

Gloria Williams loves to sing. She loves singing almost as much as she likes to write poetry — perhaps more — but, she claims she doesn't have a good voice.

Since she "can't" sing, she leads a girls' choir at church and writes poetry as she feels the need for expression. A personnel clerk at Military Systems Division in Garland, Texas, Gloria's poetry has earned her quite a reputation around the plant.

To her, poetry should always be spontaneous — an expression of the music she composes. Her poetry says the things she is too shy to speak, or the emotions she knows no other way to communicate.

"I could always write better than I could talk," Gloria explains, "and poetry displays the emotions I don't like to talk about."

Her poems bespeak an involvement with life in motion about her — sometimes bubbling and happy, sometimes somber with grief, but always serious.

"I was always serious — even as a child," she said.

Generally, Gloria's poems sing with a happy approach to life. "I can't write poetry unless I'm involved with the thing I'm writing about," she claims.

"It couldn't be sad — I'm not a sad person."

The depth of her involvement is indicated by the amount of poetry she has written, almost 100 poems.

Gloria becomes involved with the things she likes. She works at them with the personal philosophy that any job worth doing should be done as well as possible. Her career at Varo is an extension of her philosophy.

She began working for the company on April 1, 1960, in a position as a maid at the Walnut Street plant," when all Varo divisions were pretty much under one roof." The work didn't scare her and she quickly earned a reputation for excellence in her job.

The first time Gloria got scared was three and a half years later when she applied for an opening in the mail department. One part of the new job was operating the Telex machine which required a typing speed of about 35-40 WPM.

At the time, she didn't type.

She learned, and tackled the new job head-on. Her work was good enough to earn her another opportunity to advance two years ago when she took on the responsibility for maintaining the division's security files. Gloria soon got the files under control and began accepting other duties in the personnel area.

Gloria would rather not talk about herself. Not only is she shy, but she would rather talk about her Girls Auxiliary Choir at church, the Southside



Gloria Williams

Community Center in Rockwall, Texas, where she lives, or Roman History.

During two years of summer college courses at Prairie View A & M, she became fascinated with the course of the Roman Empire.

"It's so much like today," she says, "They rose, became too prosperous, and fell."

Gloria continued, "I think the people just didn't know how to handle that much prosperity."

When she's not working, Gloria likes to read. She would like to take additional college work "sometime in the future, when I get time for it."

But, during the summers, she doesn't have much spare time left. She's much too busy working at her church, the New Caledonia Baptist Church, or at the Southside Community Center in Rockwall.

The group she works with has been instrumental in getting a swimming pool built, recreational facilities established and maintaining a program of planned activities in the evenings for the community youth.

Gloria doesn't consider the work a hobby. Instead, she says, "It's a duty, a responsibility for the citizens of the community to provide a good atmosphere for the kids to grow in."

Explaining some of the activities she conducts at the center, Gloria talked about a planned outing with a "bus load" of 11 to 15-year-old kids to Six Flags Over Texas. She mentioned their plans for the trip, a picnic lunch, tour of the park, and, admitted with twinkling eyes:

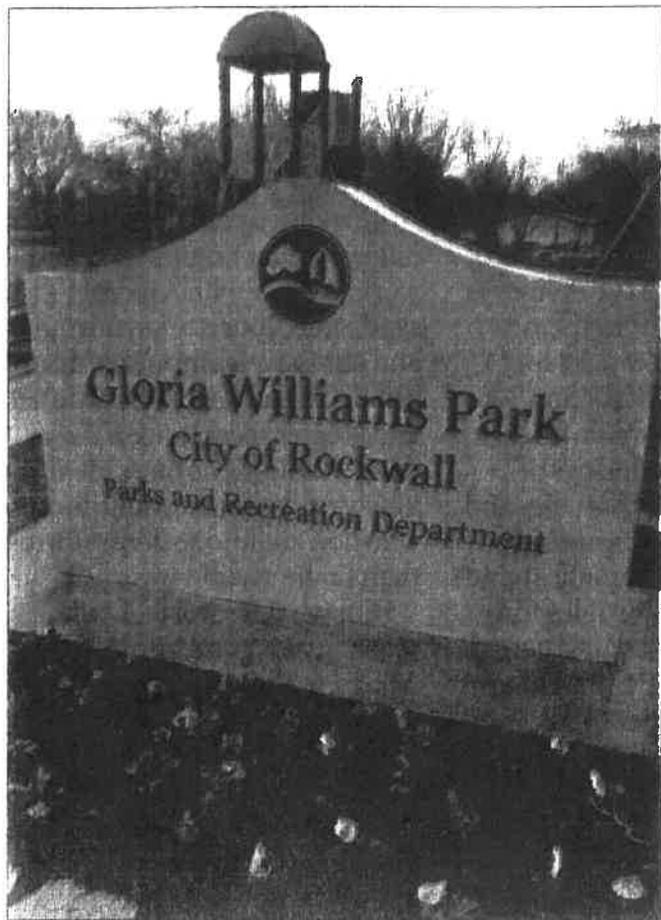
"I'm still a child at heart — I wouldn't ever let them know it, but I'll have as much fun as they will."



Photos by MIKE STONE/Special Contributor

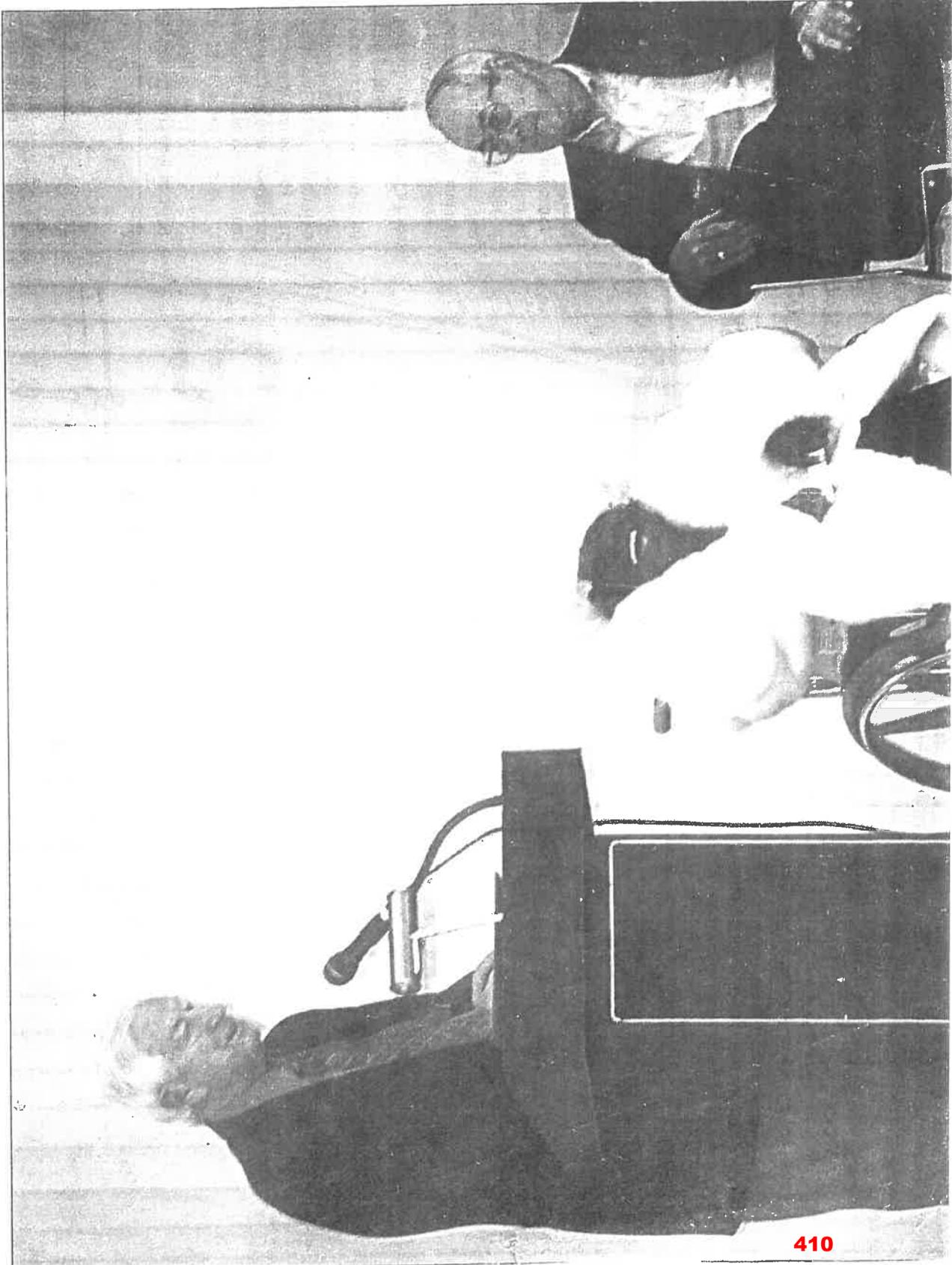
## Renamed park reflects activist's years of service

Friends congratulated neighborhood activist Gloria Williams at the dedication of Gloria Williams Park in Rockwall on Saturday. City Council members voted unanimously last year to rename Southside Park to honor Ms. Williams' contributions to the city and the Southside neighborhood, such as her role in bringing a pool to the neighborhood in 1960. It gave black residents — who weren't allowed at the city's other pool — a place to swim. The pool is within the newly renamed park. Poor weather forced Saturday's event indoors.



January 20, 2007

# Williams honored at special reception



Continued from page 1

saw the drive early in a young Williams, "You are the only child I have, always wanting to do something and wanting something."

Still modest, Williams noted that she was not alone in this accomplishment. She thanked her friend Mary Price and reflected on the times they would both be at the pool scrubbing together.

"I appreciate seeing everyone come out this weekend. I'm so happy to be honored. I never did this to be honored. I did it to get done what needed to be done. It was a sea of people working together," added Williams.

Pastor Joan Osborn shared her feelings about Williams contribution, and added, "You have always represented the importance of faithfulness and cheerfulness. You are leaving a legacy, something that we can all grow by."

A touching moment was shared by her nephew, Mark Allen Stockley, who spoke directly to his aunt and said, "This is your day, and it's well deserved. You showed me that you could be anyone you wanted to be. You showed me hard work and dedication. Your job is not over and I'm so very proud of you."

The dedication ceremony was followed by a reception.

February 27, 1989

Gloria Williams  
304 Emma Jane Street  
Rockwall, Texas 75087

Dear Gloria,

Your knowledge about the Rockwall community and the many people you know throughout the region is very valuable to The Rockwall County Journal-Success. We would like an opportunity to learn from you about the expectations citizens have for their newspaper. You are invited to join a group of other interested and involved community leaders for the editorial advisory board of this newspaper.

Your candid thoughts and ideas would be welcomed at a meeting Tuesday evening, March 21, at The Shores Country Club for dessert, coffee and conversation. We expect this meeting to not exceed one hour. During this time we hope you will help us evaluate the content of your newspaper. We want to hear what you would like to read about and hear what you don't like about The Journal-Success. Your ideas and suggestions on ways we can better serve our readers and communities are always welcome.

Please contact Dorthy Harris or me if you will be able to join us. We hope to see you Tuesday evening.

Sincerely,



David R. McClain  
Publisher

Dmc/ps



The Dallas Morning News: John F. Rhodes

Aunt Glo Williams of Rockwall worked cotton in 1880s on ground now covered by Lake Ray Hubbard.

# Rockwall tables plan for roads

By Ed Housewright  
Metro East Bureau of The News

ROCKWALL — A plan to widen two streets through an old, predominantly black neighborhood was tabled by the City Council on Monday night, after more than 200 people appeared to protest.

The people — some waving signs saying "Save Our Neighborhood! Save Our Children!" — were concerned that the plan, which is geared toward alleviating traffic on FM 205, would cost them their homes and increase traffic.

"We don't want our children to be maimed or killed in the street," Gloria Williams said. "They're not used to there being a highway there. The whole black community feels threatened."



# Road threatens Rockwall church

**CHURCH** — From Page One  
for Goliad, Sam Houston and Fanin streets to remain two-way. But Fernin and Sam Houston streets would be widened under the plan, requiring officials to acquire "approximately five" properties, said city administrator Julie Couch.

"There are several ways the plan could be implemented, and until we make definite plans as to how those streets will be widened, it's impossible to say exactly which properties will be affected," she said. "The plan approved by the council is simply a statement of where we want our roads to be 20 years from now."  
Despite the potentially disrupt-

ive aspects of the plan, some property owners who would be affected said they would be thing has to be done to relieve traffic congestion. Nevertheless, members of First Christian don't like the prospect of losing their landmark.

"I've heard that the road is supposed to come right through the sanctuary," said the Rev. Don Bohlcke, minister at First Christian Church. "The church has owned this land since 1879, so we obviously don't want to have to move or tear down the church. Under the present plan, though, we might have to consider it."

Bernice White, who owns one of the houses on Sam Houston Street that could be torn down

under the thoroughfare plan, said she favors development and the changes it is bringing to Rockwall.

"As long as the city gave us what it (the proposal) is worth, I wouldn't have any objection," Mrs. White said. "The area's getting a lot of traffic, and something needs to be done about the bad roads."

Right now, Ms. Couch said, the plan is nothing more than just that. Money to build the roads would have to be approved by voters in a bond referendum and no such election has been scheduled, she said.

Rockwall Mayor Lem Tuttle said the six-member council may discuss a road bond package dur-

ing a retreat later this month. If that discussion occurs, City Council member Russell Phelps is likely to be heard. Phelps, who cast the sole dissenting vote on the plan, said he believes the council should have held more public meetings on the proposal before voting and he is concerned about uprooting buildings.

"We held four public hearings on the plan, but only one of them was well attended," Phelps said. "With all the peculiarities involved in this, I just think it needed to be considered some more before it was approved."

"It may be the ideal plan, but I have a problem with taking somebody's property."

ROCKWALL CITIZENS COUNCIL

December 27, 1988

ENDLESS

POSSIBILITIES

Dear Fellow Rockwall Citizen:

Recently you may have had an occasion to read in the newspaper that a Rockwall Citizens Council has been formed for the purpose of working toward the development of a positive environment in our community. The need for a responsible group of Rockwall citizens, without vested interests and with a true desire to contribute to the tranquil development of our county, is paramount to the success in both the short term and the long term. Enclosed is a copy of a press release issued December 16, 1988, which provides more information about the Council.

We believe that you will bring to the Council, and, of course, to our community, a responsible contribution toward achievement of the goals of the Council. Accordingly, a meeting has been scheduled for January 5, 1989, at the Community Center, beginning at 7:30 p.m., for the purpose of providing further information about the Council, with the aim of encouraging you and others of your stature in the community to participate. The meeting should last no longer than one hour.

One of the members of the Council will shortly be contacting you by telephone to remind you of the meeting and to answer any preliminary questions you may have regarding the Council and your participation in it.

This meeting will be conducted for invitees only. Therefore, please bring with you this letter of invitation. A name tag will be provided for you at the door.

Sincerely yours,

*Raymond B. Cameron*  
Raymond B. Cameron

INVITATION  
FILONS

Soroptimist International of the Americas

# Paralee Hale Award

This certificate of honor presented to

*Gloria Williams*

for having made a difference in the world through her actions, achievements, attitudes and enthusiasm— for her very presence making us feel we're glad to be a part of this world.

Soroptimist International of Rockwall

*Conni Blenke*  
President, Soroptimist International of Rockwall

*1 May 1997*  
date

**N**

**PP EC A T I O N I O F**

- Anonymous (Phone) 12:15pm.(July 28<sup>th</sup>)  
(not in favor of name change)
- Anonymous (Phone) 12:50pm (July 28<sup>th</sup>)  
(not in favor of name change)
- Anonymous (Phone) 3:43pm (July 28<sup>th</sup>)  
(not in favor of name change)
- Anonymous (Phone) 3:49pm (July 28<sup>th</sup>)  
(not in favor of name change)
- Anonymous (Phone) 11:55am (July 29<sup>th</sup>)  
(not in favor of name change)

Documents >

Plaque

## Sales, Travis

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**From:** Sales, Travis  
**Sent:** Monday, August 10, 2020 7:48 AM  
**To:** 'Jason Alvarado'; Anna Dodd  
**Cc:** Brandon Morris; Kevin Johnson; Maurhoff, Peggy; Sales, Travis  
**Subject:** RE: Ruby Dabney Research

This article provided by Peggy is a vital piece of information that shows Gloria Williams heavy involvement if not the driving force in the development or opening of the Southside Pool/ Gloria Williams Pool. I know after reading this article it would be hard for me to support the name change, but could support a plaque recognizing Ruby Dabney if research does show the influence she had on the community.

<https://www.pressreader.com/usa/the-dallas-morning-news/20060908/282239481106188>

Travis E. Sales  
Director of Parks Recreation and Animal Services  
City of Rockwall  
108 E. Washington Street  
Rockwall, Texas, 75087  
972-772-6467

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**From:** Sales, Travis  
**Sent:** Monday, August 10, 2020 7:16 AM  
**To:** 'Jason Alvarado' < >; Anna Dodd < >  
**Cc:** Brandon Morris < >; Kevin Johnson < >; Maurhoff, Peggy  
< >;  
**Subject:** Re: Ruby Dabney Research

I think if you offer plaque it should be something like this.

The Dallas Morning News

# She's a loyal, passionate friend to her community

## Rockwall: Park may be named for 'shining example of courage'

8 Sep 2006 By LAKISHA LADSON Staff Writer

It's been a long time since Gloria Williams helped create a pool for children in Rockwall's Southside community.

But the 74-year-old says she's proud the city is thinking of putting her name on the park where the pool is located. And it means that much more to her that officials are taking the action while she is alive.

The Rockwall Parks and Recreation Board voted unanimously Wednesday to rename Southside Park for Ms. Williams. The item could go before the City Council as early as Sept. 18.

In 1959, Ms. Williams sought help in turning a foreclosed property into a recreation center, but Dick Pickens of Texas Aluminum Co. suggested a swimming pool.

It opened in 1960, and black residents — who weren't allowed at the



Gloria Williams was pivotal in creating a pool open to black residents when Rockwall was segregated.

other city pool — finally had a place to swim. The pool later was donated to the city, which created Southside Park around it. Before that, the neighborhood was known as The Flat, or Colored Town.

Today, in addition to the pool, the park features swings, benches, tables, a slide and a newly renovated basketball court.

A group of Southside community members, including the Rev. Joe Robbins, pastor of St. Paul AME Church, and Sam Buffington, president of the Southside Neighborhood Coalition, started an effort last year to get the park renamed in Ms. Williams' honor. Her nephew and others recently gave information to the city to document Ms. Williams' impact beyond the park.

Though gentle and calm, Ms. Williams spoke firmly for the community at City Hall when road projects or businesses threatened, Mr. Robbins said.

"She knew how to address things to not offend each side," said Mr. Robbins, who has emulated her approach.

County historian Sheri Fowler said she came to the meeting without her usual script to speak from the heart about Ms. Williams' continuing impact on Rockwall. For example, Ms. Williams visits the city's schools to tell children about what it was like to grow up in a segregated Rockwall.

Ms. Fowler said that when her son complains about school, she re-

minds him that as a child, Ms. Gloria had to wait outside to catch a Continental Trailways bus to Garland, then switch to a school bus to reach Booker T. Washington High School in Dallas in order to graduate. There was no high school in Rockwall for black teenagers.

"She is still a shining example of courage in this community," Ms. Fowler said.

Ms. Williams said many children today don't realize the history of the park, but she is happy they enjoy something she helped create.

"That's what I've lived my life for," she said, "to be used in this community."

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# Dabney Family Documentation

4

Dear Mayor Pruitt and Honorable Members of the Rockwall City Council,

I understand that the council has had some very tough and serious challenges and decisions as of late. Believe me, I understand about tough decisions that seem to please no one.

Well, here is a decision that could quite easily please everyone and a decision that could show that our community truly supports all stakeholders--regardless of position or color. And that decision would be to rename the Southside Pool as the Ruby Dabney Pool.

The Southside swimming pool has been a Rockwall staple since I was a little girl. Once the water at that pool and even the pool at what is now close to Harry Myers Park, had some serious chemical issues. Many "pool" experts would go to the pool down on Washington street to help clear up the murky water. No one would go to the Southside pool to help. I don't have to even explain why.

My dad, Lee Mitchell, a metallurgical and chemical engineer, who worked for the then Texas Aluminum Company, went down to correct the chemical imbalance in that pool. That was over 50 years ago!

That's how long this pool has been a vital part of our community--one that serves the needs of many people.

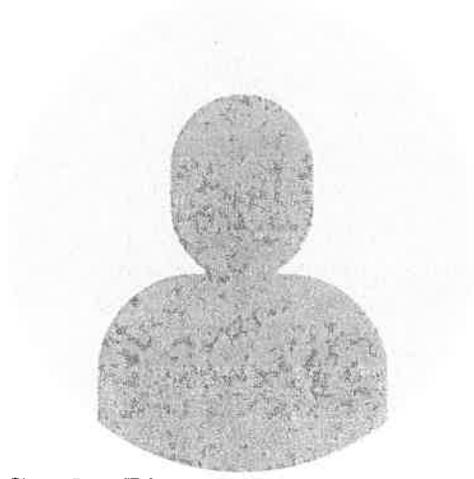
And Ruby Dabney was always there, always watching the kids, always giving them treats! She was everyone's "Mom."

I have known the Dabney family for decades. I was even Ruby's youngest son, DeMond's, counselor at Rockwall High School. Let's just say that for the four years Demond was in RHS, Ruby and I became fast friends! And I

came to admire her tremendously. She was wise, kind, loving and giving. And she raised many successful and community minded children. Our city is better for having had Ruby Dabney as a citizen.

I strongly urge the council to consider renaming the Southside Pool as the Ruby Dabney Pool. That would honor her memory, her family and our community.

Sincerely,  
Linda Mitchell Duran



**Carolyn Rivers**

**Jun 30, 2020**

**She was a awesome woman of God**



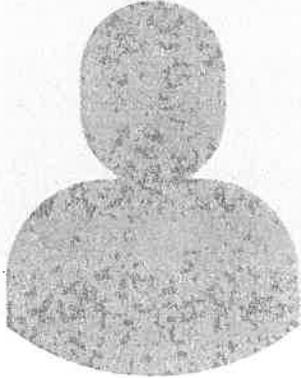
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Thanks for adding your voice.



**Shan Brown**

Jun 30, 2020

She poured lots of love into her community, deserves to be honored.

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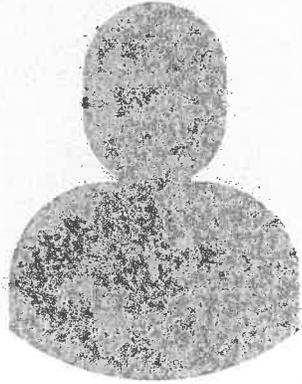
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**Octavious Jones**

**Jun 30, 2020**

Octavious Jones

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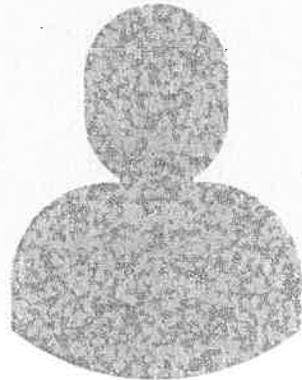


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Thanks for adding your voice.



**Mike Arredondo**

**Jun 30, 2020**

Ms. Ruby loved Rockwall and she didn't cross that bridge outside of rockwall if she didn't have to. She deserves to be honored in the community that she poured heart, time, and generosity into.

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Thanks for adding your voice.



**Sharon Brown**

Jun 30, 2020

She deserves to have her name there . She put in so much of herself . It's a small token of appreciation for all of the love, dedication and hard work she gave to that location .

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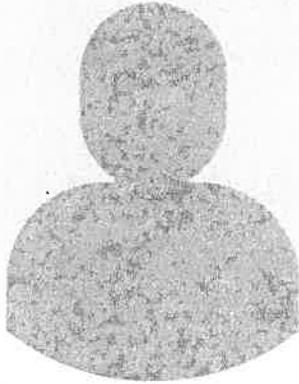
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**Loretta Darden**

1 month ago

Dedicated work deserves to be noted and memorialized!

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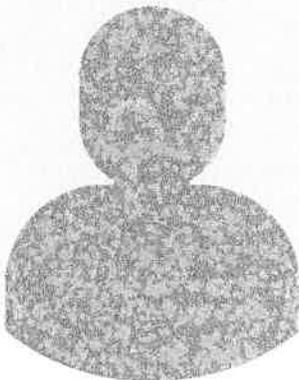


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Thanks for adding your voice.



**Shea Finney**

Jun 30, 2020

Some of my best memories growing up in the neighborhood were at the pool. Ruby Dabney always made us feel safe and welcome.

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**Steve Lewis**

1 month ago

This woman was important to our community.

- 
- 1

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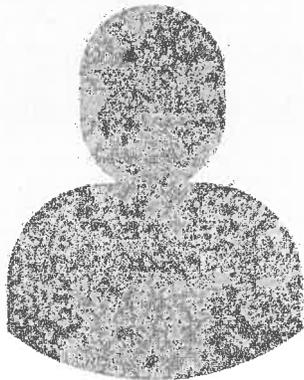


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Thanks for adding your voice.



**Sean Bennett**

1 month ago

This is a noble gesture to honor an important legacy. This is the kind if history we need memorialize.

- 
- 1

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DeleteCancel

Thanks for adding your voice.

**Delete this comment**

This comment will be deleted permanently. Are you sure you want to delete it?

Delete Cancel

Thanks for adding your voice.



**Vonda Why**

1 month ago

I love granny!

- 
- 1

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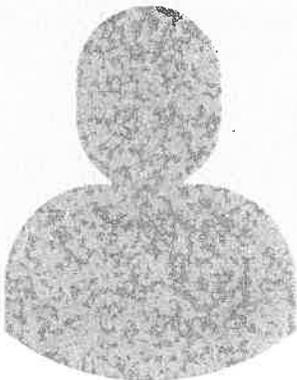


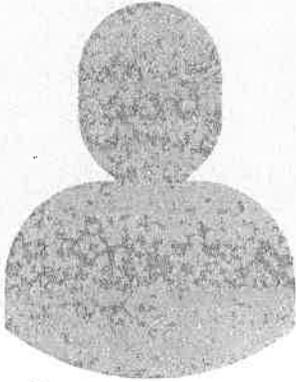
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This comment will be deleted permanently. Are you sure you want to delete it?

Delete Cancel

Thanks for adding your voice.





**Angelia Stewart**

1 month ago

I love her grand daughter!

- 
- 0

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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Helen Morris**

1 month ago

I support the cause!

- 
- 1

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- 
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This comment will be deleted permanently. Are you sure you want to delete it?

DeleteCancel

Thanks for adding your voice.



**LATOYA GOUDY**

1 month ago

HI, I'M SIGNING B.C. I LOVE STORIES LIKE THIS. MRS. RUBNY SOUNDS LIKE SHE WAS AN AMAZING AND DEDICATED WOMAN OF HER COMMUNITY. I'M SURE SHE TOUCHED SO MANY LIVES AND KEPT SO MANY IN THE RIGHT PATH SIMPLY BY CARING AND SPREADING LOVE AND... [Read more](#)

- 
- 1

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Thanks for adding your voice.

I think it is a fantastic idea

- 
- 1

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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



Dixie Whitney

1 month ago

I would like to honor a woman with great community service and wonderful record of effort and compassion to make a change in people's lives.

- 
- 1

Share  
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This comment will be deleted permanently. Are you sure you want to delete it?

DeleteCancel

Thanks for adding your voice.



Marcia Hasenyager

1 month ago

Mrs. Ruby has made a positive impact on the people of the community for many years. Honoring her by naming this pool after her would be terrific!!!!

• 1

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DeleteCancel

Thanks for adding your voice.



**Malaya Benjamin**

1 month ago

What a blessing my grandmother was and this would be such an honor!

•  
• 1

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DeleteCancel

Thanks for adding your voice.

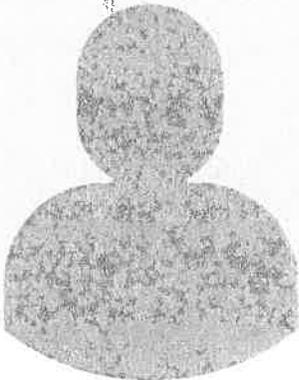


**Kelly Shea**

1 month ago

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Thanks for adding your voice.



**Kendrick Lawrence**

1 month ago

Great matriarch of Rockwall and families for generations. No one deserves this more than her.

- 
- 1

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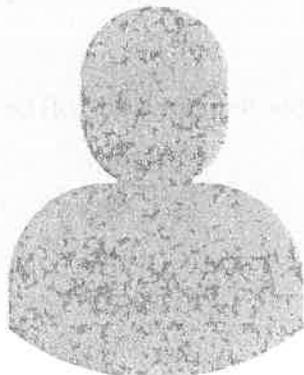


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Thanks for adding your voice.

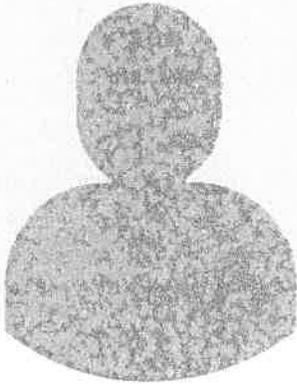


**Janeen Behnken**

1 month ago

I want this lady to be honored

-



**Kirk Afseth**

1 month ago

Deserving of being honored!

- 
- 0

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**Delete this comment**

This comment will be deleted permanently. Are you sure you want to delete it?

Delete Cancel

Thanks for adding your voice.



**Danielle Wesley**

1 month ago

My kids were blessed to be raised by Ms. Ruby as infants. She was truly a remarkably woman who will be missed.

- 
- 1

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**Delete this comment**

This comment will be deleted permanently. Are you sure you want to delete it?

**George Brunson**

1 month ago

If Mr. Sharp say she deserves it then I believe it. Please honor this lovely lady♥

- 
- 1

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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Matthew Trammel**

1 month ago

Matthew Trammel

- 
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DeleteCancel

Thanks for adding your voice.

- 
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This comment will be deleted permanently. Are you sure you want to delete it?

DeleteCancel

Thanks for adding your voice.



Megan Ford

1 month ago

My grandparents were members of the community that built this pool, so that my mother and others could have a chance to swim in segregated 1960s Rockwall, Texas. I'm glad to sign this petition.

- 
- 1

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DeleteCancel

Thanks for adding your voice.



1 month ago

Deserving

- 
- 0

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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Marsha Cole**

1 month ago

Impact like this should be etched in stone and never forgotten. This would be a marvelous way to memorialize her impact to the young people who needed, wanted, and cherished her presence in their lives.

- 
- 1

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Thanks for adding your voice.



**Kerry Bassinger**

1 month ago

Well deserved. Great way to honor her

•  
• 0

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**Delete this comment**

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Thanks for adding your voice.



**Ari W**  
1 month ago  
I love you layla ☐☐

•  
• 0

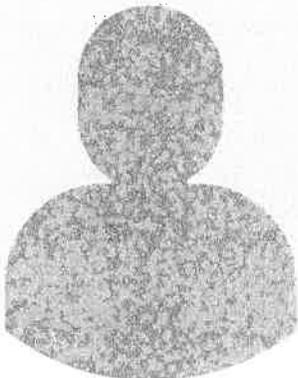
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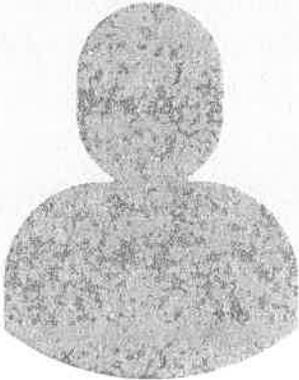
Thanks for adding your voice.



**rae gibbs**

[DeleteCancel](#)

Thanks for adding your voice.



**Rebecca willis**

1 month ago

I grow up in Oak Cliff where we also had Black Management. But those honest, kind, and thoughtful adult showed us family love. They made us obey or put us out with a kind look. They tolerated us all day long if your parents would let you stay. For some the pool was their babysitter. So, I'm... [Read more](#)

- 
- 0

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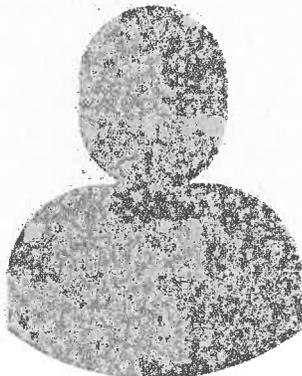


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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.

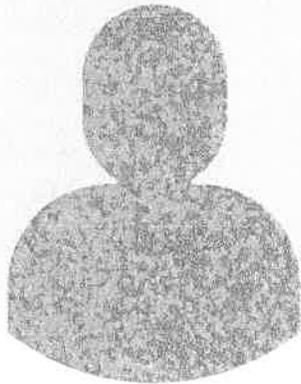


**Debra Bartley**

1 month ago

Ms. Ruby Dabney was the epitome of "I am my brother's keeper."

Thanks for adding your voice.



**Debra Taylor**

1 month ago

Ms. Dabney deserves to be honored by having the pool name changed.

- 
- 0

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Thanks for adding your voice.



**Heather Vega**

1 month ago

I feel like it's right

- 
- 0

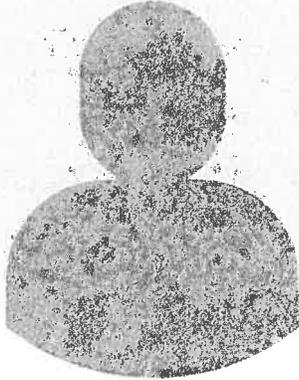
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**FANNIE Smith**

1 month ago

To show appreciation

- 
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Thanks for adding your voice.



**princess tall**

1 month ago

We should honor those that make a difference.

- 
- 0

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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Julia McCormack**

1 month ago

Julia McCormack

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Thanks for adding your voice.



**Nancy Martinez**

1 month ago

Please Honor her

- 
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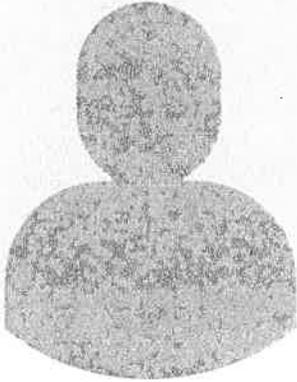


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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Laura Dennis**

1 month ago

The deserving deserve recognition!

- 
- 0

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Thanks for adding your voice.



**Debra Miller**

1 month ago

Debra Miller

- 
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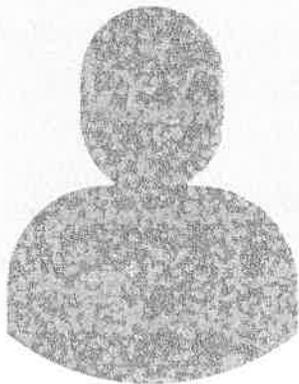
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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Derek Alford**

1 month ago

Anything Darrin Sharp is for, I am for!

- 
- 0

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**Delete this comment**

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Thanks for adding your voice.

Thanks for adding your voice.



**Carolyn Durham**

1 month ago

Carolyn Durham

- 
- 0

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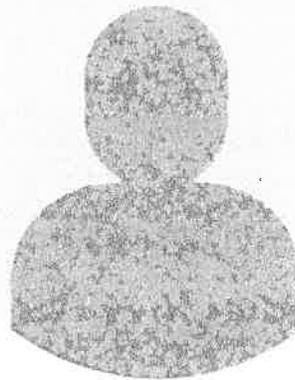


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This comment will be deleted permanently. Are you sure you want to delete it?

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Thanks for adding your voice.



**Jenny Bellamy**

1 month ago

For Ruby, everyone's mama. ❤️

- 
- 0



**Jeremy Deckert**

1 month ago

Jerry Deckert

- 
- 0

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Thanks for adding your voice.



**Clarisa lindenmeyer**

1 month ago

She was an amazing woman and mother! She did so much for our community!

- 
- 0

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Thanks for adding your voice.



**Louis Pargoud**

1 month ago

It is needed.

- 
- 0

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Thanks for adding your voice.



**Barrie Glasscock**

1 month ago

I am a 21 year resident of Rockwall, TX. This is such a worthy cause to honor one of Rockwall's great legaciés.

- 
- 0

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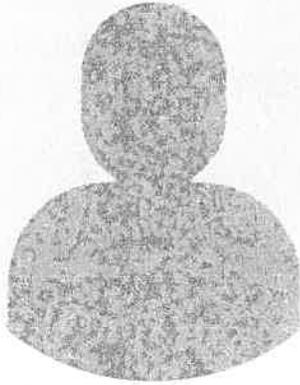


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Thanks for adding your voice.



**eric ford**

1 month ago

I believe this is right thing to do.

- 
- 0

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Thanks for adding your voice.



**Gwendolyn kinder**

1 month ago

gwendolyn alexander

- 
- 0

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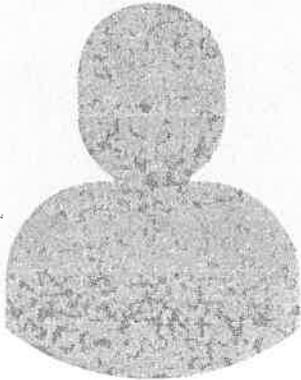
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Thanks for adding your voice.



**Chrystal Mosley**

1 month ago

Time for changes

- 
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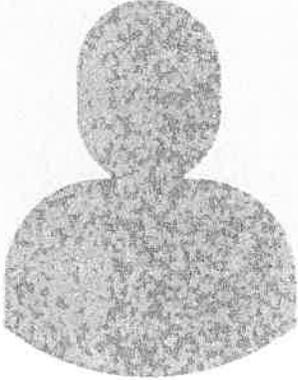
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Thanks for adding your voice.

## Reasons for signing

See why other supporters are signing, why this petition is important to them, and share your reason for signing (this will mean a lot to the starter of the petition).

Thanks for adding your voice.



**Sally Meek**

4 weeks ago

It's the right thing to do.

- 
- 0

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Thanks for adding your voice.



**Melissa Bailey**

1 month ago

It's right and Rockwall is a racist city no matter what they try to portray

- 
- 0

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**450**

# Signatures

<b>Name</b>	<b>Location</b>	<b>Date</b>
Dwight Dabney	Red oak, TX	2020-06-30
Brandon Mims	Dallas, TX	2020-06-30
Waymond Moore	Mesquite, TX	2020-06-30
Regina Scroggins	Rockwall, TX	2020-06-30
James Taylor	Rockwall, TX	2020-06-30
Austin O'Dell	Rockwall, TX	2020-06-30
Shannon Guynes	Wylie, TX	2020-06-30
Brooklon Haney	Duncanville, TX	2020-06-30
Denise Frazier	Dallas, TX	2020-06-30
Loreta Cleaver	Rockwall, TX	2020-06-30
Brian Dabney	Versailles, KY	2020-06-30
Jessica Aitken	Willimantic, CT	2020-06-30
Misty Buttrill	Dallas, US	2020-06-30
Komosha Tyehimba	Lavon, TX	2020-06-30
Wylonia Johnson	Dallas, TX	2020-06-30
Haylee Anderson	Greenville, TX	2020-06-30
Carolyn Rivers	Dallas, TX	2020-06-30
Aaron Dabney	irving, TX	2020-06-30
Tony Dabney	Round Rock, TX	2020-06-30
Jenny Jones	Rockwall, TX	2020-06-30

Recipient: **City of Rockwall Texas**

Letter: **Greetings,**

**Change Southside Pool name to Ruby Dabney Pool**

<b>Name</b>	<b>Location</b>	<b>Date</b>
Chris Hunter	Chattanooga, US	2020-06-30
charles Christian jr	Arlington, TX	2020-06-30
Diane Trent	Rockwall, TX	2020-06-30
Kadeidra Weatherall	Dallas, TX	2020-06-30
sara al	new york, US	2020-06-30
Vonda Why	Dallas, TX	2020-06-30
Earl Heard	Mckinney, TX	2020-06-30
David Martinez	Long Beach, US	2020-06-30
Nyka Hansley	Lutcher, LA	2020-06-30
Chris Shaw	Dallas, TX	2020-06-30
Katheryn Mata	Sacramento, US	2020-06-30
Sara Wrighting	Terrell, TX	2020-06-30
Tiffany Holland	Forney, TX	2020-06-30
Marissa Clayton	Rockwall, TX	2020-06-30
Melinda Williamson	US	2020-06-30
Andy Whitmore	Garland, TX	2020-06-30
Kim Hill	Mckinney, TX	2020-06-30
Tracy Spencer	Garland, TX	2020-06-30
Lakeesha Blackshire	US	2020-06-30
Dushonne Collins	Dallas, US	2020-06-30
Rosie McConic	Arlington, TX	2020-06-30
Quinci Walker	Dallas, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Tunesalyn Irokwe	Royse City, TX	2020-06-30
Charchell Mitchell	Desoto, TX	2020-06-30
Kiera Davidson	Rowlett, TX	2020-06-30
Barbara Denny	Dallas, TX	2020-06-30
Ellena Woodard	Dallas, TX	2020-06-30
Nichole Joseph	Houston, TX	2020-06-30
Jovina Claek	Birmingham, AL	2020-06-30
Tim Pratt	Tofte, MN	2020-06-30
Jenna Darga	Macomb, US	2020-06-30
Deleon Harris	Dallas, TX	2020-06-30
Mercedes Roquemore	Rockwall, TX	2020-06-30
Bernadette Brock	Westland, MI	2020-06-30
Larry Kines	Red Oak, TX	2020-06-30
Daneeka Woods	Gonzales, LA	2020-06-30
Megan Alphin	Dallas, TX	2020-06-30
Calyn Adams	US	2020-06-30
Debra Hearn	Royse City, TX	2020-06-30
Clay Wilkerson	Heath, TX	2020-06-30
Gregory Sargent	Dallas, TX	2020-06-30
Shelia Terry	Santo Domingo, Dominican Republic	2020-06-30
Jaeci Dalcour	Humble, US	2020-06-30
Renisha Sharma	New York, US	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Mikayla Mathis	Tyler, TX	2020-06-30
PAMELA GABRIEL SWANSON	Garland, TX	2020-06-30
Angela Sewell	Mesquite, TX	2020-06-30
Sean Bennett	Bristol, CT	2020-06-30
Joneal Rose	Venus, TX	2020-06-30
Jordan Harris	Dallas, TX	2020-06-30
Erin hudson	Frisco, TX	2020-06-30
Felicia Green	Dallas, TX	2020-06-30
Stephanie O'Hara	Duncanville, TX	2020-06-30
Jackie Johnson	Dallas, TX	2020-06-30
Lanita Williamson	Arlington, TX	2020-06-30
Steve Lewis	US	2020-06-30
Kate Lunn	Rockwall, TX	2020-06-30
Christina Hughes	Evansville, IN	2020-06-30
Tarra Singleton	Mcalester, OK	2020-06-30
Shava Echols	GARLAND, TX	2020-06-30
LaRinda Young	Gainesville, TX	2020-06-30
Natalie Firtos	Whitewright, TX	2020-06-30
LeStar Cofer	Frisco, TX	2020-06-30
Natalia Cervantes	Murfreesboro, US	2020-06-30
Angeline Wake	McKinney, TX	2020-06-30
Keisha Ragoobir	Dallas, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Kimberly Wilhelm	Rowlett, TX	2020-06-30
Lydia Randall	Heath, TX	2020-06-30
Robin Holland	Little Rock, AR	2020-06-30
Shea Finney	mesquite, TX	2020-06-30
Talondra Dabney	Terrell, TX	2020-06-30
Charron Smith	Garland, TX	2020-06-30
Crystal Lotterberry	Red Oak, TX	2020-06-30
Loretta Darden	Mesquite, TX	2020-06-30
Darlene Dabney	Rowlett, TX	2020-06-30
Robyn Hearn	Royse City, TX	2020-06-30
Lana Britt	Fate, TX	2020-06-30
Lakisha Rose	Mesquite, TX	2020-06-30
Brandon Dabney	Dallas, TX	2020-06-30
Tonisha Miles	Garland, TX	2020-06-30
Alma Henderson	Florissant, MO	2020-06-30
Linda Duran	Rockwall, TX	2020-06-30
Ashlie Strange	Rockwall, TX	2020-06-30
Morris Lewis	Red Oak, TX	2020-06-30
Anthony Miranda	Mansfield, TX	2020-06-30
Kimeshia Loyd	Lancaster, TX	2020-06-30
Michael Holloway	Garland, TX	2020-06-30
Katrina Gabriel	Mesquite, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Octavious Jones	Florissant, MO	2020-06-30
Letecia Newbon	Indianapolis, IN	2020-06-30
Kimberley Lewis	Rockwall, TX	2020-06-30
Stacey Jones	Florissant, MO	2020-06-30
BRANDY AYERS	Round Rock, TX	2020-06-30
YOLANDA ROBERSON	Lancaster, TX	2020-06-30
Zachery Collier	Las Vegas, NV	2020-06-30
Alma Hall	Rockwall, TX	2020-06-30
Samantha Moore	Dallas, TX	2020-06-30
Semaj Shephard	Lancaster, TX	2020-06-30
Uriah Shephard	Houston, TX	2020-06-30
Angela Jones	Dallas, TX	2020-06-30
Casetta Buchanan	Dallas, TX	2020-06-30
George Buchanan	Dallas, TX	2020-06-30
Precilla Benjamin	Lancaster, TX	2020-06-30
Sharon Brown	Dallas, TX	2020-06-30
Tamara Williams	US	2020-06-30
Dahlia McCain	Tyler, TX	2020-06-30
LeShawn Alexander	Royse City, TX	2020-06-30
Tracey Dodd	Wylie, TX	2020-06-30
Kimmis Anthony	Greenville, TX	2020-06-30
Meshia Daniels	Arlington, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Lorenzo Miles	Greenville, TX	2020-06-30
Alycia Temple	Fort Worth, TX	2020-06-30
Roderick Clark	Red Oak, TX	2020-06-30
Shan Brown	Chicago, IL	2020-06-30
Paul dabney	Dallas, TX	2020-06-30
Genevra Buchanan	Lancaster, TX	2020-06-30
Raetasha Dabney	Coppell, TX	2020-06-30
Donna Cromer	Arlington, TX	2020-06-30
Shunetria Harris	Dallas, TX	2020-06-30
John Burch	Richardson, TX	2020-06-30
Gary Sharp	Mesquite, TX	2020-06-30
Mike Arredondo	Rowlett, TX	2020-06-30
Brian Samford	Rockwall, TX	2020-06-30
Stacy Venson	Frisco, TX	2020-06-30
Ayinde Tyehimba	Lavon, TX	2020-06-30
Sharon Punch	Garland, TX	2020-06-30
Ebonie Clark	Rockwall, TX	2020-06-30
Monica Rowlett	Royse, TX	2020-06-30
Jeff Manning	Rockwall, TX	2020-06-30
Celeste Alexander	Dallas, TX	2020-06-30
Shane Oneal	Mckinney, TX	2020-06-30
Kenna Arredondo	Rockwall, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Stacey Cleveland	Houston, TX	2020-06-30
Kimberly Shelton	Mesquite, TX	2020-06-30
Benjamin Loup	Rosemont, US	2020-06-30
Helen Morris	Houston, TX	2020-06-30
Angelia Stewart	Fort Worth, TX	2020-06-30
Divine Wint	Newark, US	2020-06-30
Bianca Montes	Orem, US	2020-06-30
Juwan Seigle	Dallas, TX	2020-06-30
Lynn Walker	Plano, TX	2020-06-30
Ayanna Hollier	Johnstown, US	2020-06-30
lisa pomeroy	San Antonio, TX	2020-06-30
Ashlee Jones	Phoenix, AZ	2020-06-30
Charolyn Washington	Huntsville, TX	2020-06-30
Kristelle Walls	Houston, TX	2020-06-30
temmira hopkins	Irving, TX	2020-06-30
Shannon Jones-Guignard	Dallas, TX	2020-06-30
Cameron Shotlow	Houston, TX	2020-06-30
Kimberly Storks-Duplessis	Gramercy, LA	2020-06-30
Joshua Buchanan	Dallas, TX	2020-06-30
Faith Evans	Houston, TX	2020-06-30
Tina Ugaban	Detroit, US	2020-06-30
Jaquon Dabney	Dallas, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Sometimes I don't know	Staten Island, US	2020-06-30
Kayla Adams	Terrell, TX	2020-06-30
Giselle Fausto	Norwalk, US	2020-06-30
Etta Rose	Garland, TX	2020-06-30
Chandra Boone	Frisco, TX	2020-06-30
Teresa Dabney	Tulsa, OK	2020-06-30
Deanna Hernandez	Corsicana, TX	2020-06-30
Angela Lewis	Dallas, TX	2020-06-30
elizabeth sarkisian	Las Vegas, US	2020-06-30
Misa Edmond	Dallas, TX	2020-06-30
Lakisha Mims	Terrell, RI	2020-06-30
Lori Johnson	Lancaster, TX	2020-06-30
Lauren D'Anelli	Long Beach, US	2020-06-30
Sydni Paige	Dallas, US	2020-06-30
Jessica Rivera	Garland, TX	2020-06-30
Yesenia Siemens	Sacramento, US	2020-06-30
Kent Barnett	Rockwall, TX	2020-06-30
Janise Taylor	Huntsville, TX	2020-06-30
Karan Daugherty	Rockwall, TX	2020-06-30
Marcus Robinson	McKinney, TX	2020-06-30
Jay Stevens	Oak Park, US	2020-06-30
Tyra Fort	Rockwall, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Ebony Minor	Mckinney, TX	2020-06-30
Afiya Mark	Houston, TX	2020-06-30
Emmanuel Ortiz	El Paso, US	2020-06-30
Osahon Okhwarobo	Rockwall, TX	2020-06-30
Angela Sharp	Sachse, TX	2020-06-30
Bryan Decker	Rockwall, TX	2020-06-30
Chelsea Malpass	mount olive, US	2020-06-30
Paula Salter	Rockwall, TX	2020-06-30
Ashley Barnes	Lewisville, TX	2020-06-30
Jennifer Tyson	Denison, TX	2020-06-30
Jeannie Edge	Eagle, ID	2020-06-30
Kario Allen	Mesquite, TX	2020-06-30
Susan Demus	Desoto, TX	2020-06-30
Robert C Williams	Rockwall, TX	2020-06-30
Chris Minor	Rowlett, TX	2020-06-30
Zona Onyejekwe	Lawrenceville, US	2020-06-30
Ariona Cozine	Dallas, TX	2020-06-30
Juanita Hubbard	Arlington, TX	2020-06-30
Eureka Drayden	DeSoto, TX	2020-06-30
Antwonetta Parker	Mckinney, TX	2020-06-30
Kathy Moore	Rockwall, TX	2020-06-30
Keysha Godfrey	DeSoto, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Cleasta Sanders	Dallas, TX	2020-06-30
Akevia Hose	Houston, TX	2020-06-30
Shanell Williams	Mesquite, TX	2020-06-30
Tameca Colbert	Arlington, TX	2020-06-30
alison destefano	Monroe, US	2020-06-30
Marilyn Brown	Garland, TX	2020-06-30
LATOYA GOUDY	tyner, NC	2020-06-30
Ciara Pitts	Atlanta, US	2020-06-30
Antoine Casado	New York, US	2020-06-30
Natilee Noble	Granbury, TX	2020-06-30
Emily Rachel	Dallas, TX	2020-06-30
Caron Sneed	Cedar Hill, TX	2020-06-30
Marcia Hasenyager	Rockwall, TX	2020-06-30
LaDonna Braziel	Dallas, TX	2020-06-30
Charlotte Drew	Saint Paul, US	2020-06-30
Marie Jackson	Denver, CO	2020-06-30
Jamarius Wallace	Rockwall, TX	2020-06-30
Brianna Perez	Lynwood, US	2020-06-30
Liz Mitchell	Grand Prairie, TX	2020-06-30
fedisha hampton	dallas, TX	2020-06-30
Jen Munson	Rockwall, TX	2020-06-30
Erin Ezzell	Cape Girardeau, MO	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Erica Caraway	Arlington, TX	2020-06-30
Juaquina Sheppard	Arlington, TX	2020-06-30
Randy Whitaker	Carrollton, TX	2020-06-30
Chelsea Pena	Los Angeles, US	2020-06-30
Roderick Blackman	Little Rock, AR	2020-06-30
Julius Lafayette	Dallas, TX	2020-06-30
Khodani Manenzhe	Johannesburg, US	2020-06-30
Gloria Nicot	Dallas, TX	2020-06-30
Brent Clark	Eules, TX	2020-06-30
Lisa Trammell	Rockwall, TX	2020-06-30
Samm Solvin	Wylie, TX	2020-06-30
Jacquara Moore	Dallas, TX	2020-06-30
Jordyn Clemons	Ontario, US	2020-06-30
Shelley Besterfeldt	Canton, TX	2020-06-30
Tammy Farrell Oates "Trammell " Trammell	Dallas, TX	2020-06-30
Dixie Whitney	Fate, TX	2020-06-30
Christopher Jones	Plano, TX	2020-06-30
Angela Cole	Red Oak, TX	2020-06-30
Amanda Way	Rockwall, TX	2020-06-30
Gary Alfred	Houston, TX	2020-06-30
Andrea Gillins	Cedar Hill, TX	2020-06-30

<b>Name</b>	<b>Location</b>	<b>Date</b>
Patricia Calahan	Grand Prairie, TX	2020-06-30
Chasady Dabney	Corsicana, TX	2020-06-30
Camille Hipp	Arlington, TX	2020-06-30
Zee Jones	Tacoma, WA	2020-06-30
Jasmyn Lee	Spring, TX	2020-06-30
Shakeem Iyamah	Chicago, IL	2020-06-30
Jeff Edge	Eagle, ID	2020-06-30
Dre Dooley	Arlington, TX	2020-06-30
AVery Spalding	Milton, GA	2020-06-30
Louella Ball	Dallas, TX	2020-06-30
Kendric Mcguire	Rockwall, TX	2020-06-30
Shambrequa Puttilla	Dallas, TX	2020-06-30
Avis Crowder	Gilmer, TX	2020-06-30
S. R Dickerson	Miami, US	2020-06-30
Angela Riley	Dallas, TX	2020-06-30
Kelly Shea	Pottsboro, TX	2020-06-30
Shermetra McIntyre	Dallas, TX	2020-06-30
Malaya Benjamin	Brooklyn, NY	2020-06-30
Lisa Kalmus	Arlington, TX	2020-06-30
Christina Dickerson	Forney, TX	2020-07-01
Alayciah Johnson	Mesquite, TX	2020-07-01
Stephanie Rowden	Fort Worth, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Gaynor DeWeese	Santa Maria, CA	2020-07-01
Agnes Watt	Dallas, TX	2020-07-01
Cynthia Rogers	Frisco, TX	2020-07-01
Janeen Behnken	Fort Worth, US	2020-07-01
Genise Flores	Rockwall, TX	2020-07-01
Felicia Weidman	Rockwall, TX	2020-07-01
Emily Woodard	Rockwall, TX	2020-07-01
Donna Pierce	Arlington, TX	2020-07-01
Portia Carr	Arlington, TX	2020-07-01
Gary Haws	Richardson, TX	2020-07-01
Deandra Wheaton	Richardson, TX	2020-07-01
Frederick Dabney	Rockwall, TX	2020-07-01
hailey hawkins	heath, TX	2020-07-01
Crystal Smith	Gramercy, LA	2020-07-01
Mya Clark	Dallas, TX	2020-07-01
Randall Bryant	Dallas, TX	2020-07-01
Terri Davis	Greenville, TX	2020-07-01
Adam Kaluba	Burleson, TX	2020-07-01
Micah Clark	Arlington, TX	2020-07-01
Lakecia Gowans	Irving, TX	2020-07-01
Annie purcell	Rockwall, TX	2020-07-01
Lauren Callahan	Columbus, OH	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Vincent Ford	Columbus, OH	2020-07-01
Dawn Payne	Biloxi, MS	2020-07-01
Aleena Smith	Dallas, TX	2020-07-01
Raymond Rose	Garland, TX	2020-07-01
Kendrick Lawrence	Dallas, TX	2020-07-01
Joy LaRue	Rockwall, TX	2020-07-01
Caleb Cobbs	Garland, TX	2020-07-01
Phillip Jenkins	Dallas, TX	2020-07-01
Natalie Evans	Royse City, TX	2020-07-01
Delonte Deeton	Fort Worth, TX	2020-07-01
Brittany Seibert	Rockwall, TX	2020-07-01
Priscylla Bento	Rockwall, TX	2020-07-01
Charle Martin	Royse city, TX	2020-07-01
Meagan Johnson	Pflugerville, TX	2020-07-01
Z Mackey	Richardson, TX	2020-07-01
Jen Childers	Rockwall, TX	2020-07-01
Darrin Sharp	Wylie, TX	2020-07-01
Kyle Rodgers	Batesville, MS	2020-07-01
Gloria Bossier	Dallas, TX	2020-07-01
Daniel Stovall	Farmersville, TX	2020-07-01
Danielle Wesley	US	2020-07-01
Debbie Smothermon	Rockwall, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Julie Waddle	Royse City, TX	2020-07-01
Guillermo Guevara	Rockwall, TX	2020-07-01
Kate Murphy	Dallas, TX	2020-07-01
CJ Johnson	Rockwall, TX	2020-07-01
Samantha Gard	Rockwall, TX	2020-07-01
Samantha Strumeier	New York, NY	2020-07-01
Scott Cooper	Wylie, TX	2020-07-01
Kirk Afseth	US	2020-07-01
Allison Perkins	Gainesville, FL	2020-07-01
Sabrina Smith	Fort Worth, TX	2020-07-01
Joaquin Ramirez	Rockwall, TX	2020-07-01
Matthew Trammel	Mesquite, TX	2020-07-01
Shelby Morgan	Garland, TX	2020-07-01
Priscilla Chatham	Royse City, TX	2020-07-01
George Brunson	Mount Vernon, TX	2020-07-01
Terry Garrett	Rockwall, TX	2020-07-01
Larry Robertson	Dallas, TX	2020-07-01
Nick Jackson	Farmersville, TX	2020-07-01
Hallie Hart	Stillwater, OK	2020-07-01
Kyle Hyder	Forney, TX	2020-07-01
Don Tarrant	Rockwall, TX	2020-07-01
Sharrie Collins	Garland, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Felix Castillo	Grand Prairie, US	2020-07-01
Patty Corsi	Plano, TX	2020-07-01
Lambert Stone	Garland, TX	2020-07-01
James Cowan	Rockwall, TX	2020-07-01
Barbara Redmon	Rowlett, TX	2020-07-01
Scott Crawford	Rockwall, TX	2020-07-01
Phil Leone	Midland, TX	2020-07-01
Teresa Thornburg	Dallas, TX	2020-07-01
Curtis Nowosad	New York, NY	2020-07-01
Kathy selden Henderson	Gilmer, TX	2020-07-01
Rebecca Wells	Royse City, TX	2020-07-01
Yasheca Wilson	Fort Worth, US	2020-07-01
Jamie Carter	Rockwall, TX	2020-07-01
Tommy McMahan	Rockwall, TX	2020-07-01
Alissa Shaw	Jacksonville Beach, FL	2020-07-01
David Strumeier	Indianapolis, IN	2020-07-01
Anna Gard	Royse City, TX	2020-07-01
Mike Pecina	Rockwall, TX	2020-07-01
RJ Chisom	Garland, TX	2020-07-01
Papa Smoketxfosho	Dallas, TX	2020-07-01
Shronda Green	Dallas, TX	2020-07-01
Saundra Holland	Rockwall, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Megan Ford	Plano, TX	2020-07-01
Jonathan Baron	Jersey City, NJ	2020-07-01
Terry Armstrong	Garland, TX	2020-07-01
Cindy Wylie	Rockwall, TX	2020-07-01
Deshandise Jones	Lavon, TX	2020-07-01
Brittany Price	Plano, TX	2020-07-01
Morgan C	Gurnee, IL	2020-07-01
Christina Larsen	Dallas, TX	2020-07-01
Madalyn Polen	West Orange, NJ	2020-07-01
Debra Taylor	Sacramento, CA	2020-07-01
Candace Bennett	Rockwall, TX	2020-07-01
Zoë Szymczak	Indianapolis, US	2020-07-01
Mary Claire Haack	Royse City, TX	2020-07-01
Danielle Johnson	Rockwall, TX	2020-07-01
Ella Newsome	Daingerfield, TX	2020-07-01
LASHONDRA JOHNSON	Biloxi, MS	2020-07-01
Kelly Kidd	Gainesville, TX	2020-07-01
Thonisha Barnes	Dallas, TX	2020-07-01
Eliceia Jackson	Moss Point, MS	2020-07-01
Haley F.G	Coral Gables, US	2020-07-01
Teresa Saul	Temple, TX	2020-07-01
Fatima Gonzalez	Anaheim, US	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Heather McGuire	Rowlett, TX	2020-07-01
Sherri Cardella	Haslet, TX	2020-07-01
Loren North	Phoenix, US	2020-07-01
Dee Duncan	Washington, DC	2020-07-01
Elizabeth Mendez	Fountain Valley, US	2020-07-01
Kerry Bassinger	Irving, TX	2020-07-01
Darryl Conley	Granbury, TX	2020-07-01
Delaney Oates	La Vernia, TX	2020-07-01
Taylor Hearn	Arlington, TX	2020-07-01
Clarissia Jones	The Colony, TX	2020-07-01
Natalia Hernandez	Quincy, US	2020-07-01
Brittany Choi	Wylie, TX	2020-07-01
Michelle Polibio	Red Bank, US	2020-07-01
Marsha Cole	Metairie, LA	2020-07-01
Melissa Morsinkhoff	Rockwall, TX	2020-07-01
Rick Wormwood	Grand Prairie, TX	2020-07-01
Erik Skyles	Rockwall, TX	2020-07-01
Emily Martin	Wylie, TX	2020-07-01
Meridith White	Union Valley, TX	2020-07-01
Srinivas Chavala	Maryville, US	2020-07-01
Shannon Brooks	Garland, US	2020-07-01
Bonita Fletcher	Elk Grove, CA	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Sofia Chavez	Algonquin, US	2020-07-01
rae gibbs	texas, TX	2020-07-01
Martha Hernandez	Elk Grove, CA	2020-07-01
Brittany Darcangelo	Rockwall, TX	2020-07-01
Aimee Jones	Grand Prairie, TX	2020-07-01
Ivis Peraza	Hollywood, US	2020-07-01
Wesley Bradshaw	Mckinney, TX	2020-07-01
Brooke Aston	Norman, OK	2020-07-01
Scott McCoy	Frisco, TX	2020-07-01
Jayla Caponi	Sandusky, US	2020-07-01
Karen Washington	Garland, TX	2020-07-01
Jonnathan Johnson	Rockwall, TX	2020-07-01
Ari W	New Orleans, LA	2020-07-01
Asha Phillips	Garland, TX	2020-07-01
Adam Presser	Sachse, TX	2020-07-01
Latoyab Brown	Rockwall, TX	2020-07-01
Latanya Johnson	Sacramento, CA	2020-07-01
Karen Dabney	Rockwall, TX	2020-07-01
Abby Kane Abby	Aurora, US	2020-07-01
Reshonn Saul	Reserve, LA	2020-07-01
Angelique Tenorio	Albuquerque, US	2020-07-01
Rosa Guerrero	Dallas, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jolinda Chinn	Houston, TX	2020-07-01
Anonymous Anonymous	Chicago, US	2020-07-01
Kim Johnson	Dallas, TX	2020-07-01
Foad Sayef	Cairo, US	2020-07-01
Stephanie castillo	Rockwall, TX	2020-07-01
Riley Lehmann	Seattle, US	2020-07-01
Anya Lambert	Mount Holly, US	2020-07-01
Brandy Ford	Frisco, TX	2020-07-01
Ana Reyes	Richardson, TX	2020-07-01
Cory Norris	Carmel, IN	2020-07-01
Kendall Riley	Dallas, TX	2020-07-01
Robert Leyva	New Braunfels, US	2020-07-01
Matt Griffith	Rockwall, TX	2020-07-01
Brittney Brannon	Houston, TX	2020-07-01
Joseph Williams	New York, NY	2020-07-01
Darielle Clark	Mansfield, TX	2020-07-01
Najah Hill	Mesquite, TX	2020-07-01
Viviana Morales	Balch Springs, TX	2020-07-01
Toby Harris	Garland, TX	2020-07-01
Elena Ballard	Wylie, TX	2020-07-01
LaSandra Conley	Rockwall, TX	2020-07-01
Glen Piner	Mckinney, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Yvette Ortiz	New Brunswick, US	2020-07-01
Alex AC	Keller, US	2020-07-01
Shanette Cole	Red Oak, TX	2020-07-01
Heidi D	Fullerton, US	2020-07-01
Madelyn Reed	Carlsbad, CA	2020-07-01
Kayla Derival	Fort Lauderdale, US	2020-07-01
ashley osgood	Cambridge, US	2020-07-01
Jason Banks	Orange, US	2020-07-01
Durell Coleman	New Haven, CT	2020-07-01
Jackie Willis	San Antonio, TX	2020-07-01
Lyndzia Chambers	Rockwall, TX	2020-07-01
James Roman	Monroe, US	2020-07-01
Breann Farrington	Hereford, US	2020-07-01
Carolyn Phelan	Oak Grove, KY	2020-07-01
Audrey Benony	Lake Worth, US	2020-07-01
Brenna Mallery	Chula Vista, US	2020-07-01
Crystal Mankin	Rockwall, TX	2020-07-01
India Martin	Canton, MI	2020-07-01
Zephyr Depre	Martinez, US	2020-07-01
Sierra Howard	Mckinney, TX	2020-07-01
Greg Linvel	Arlington, TX	2020-07-01
Carmen Leveque	Gilroy, US	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Trel Tillman	Orlando, US	2020-07-01
Debra Bartley	Lutcher, LA	2020-07-01
Keris Jackson	Fort Worth, TX	2020-07-01
Denisha Norice	Mesquite, TX	2020-07-01
Lakennya Tillman	Tampa, US	2020-07-01
Nicholette Braswell	Dallas, TX	2020-07-01
Claire Smith	Eugene, US	2020-07-01
Rebecca willis	Quitman, TX	2020-07-01
Reeshemah Moreland	Houston, TX	2020-07-01
Neketa Joseph	Grand Prairie, TX	2020-07-01
Sherry Bass	Omaha, NE	2020-07-01
Katelyn Guerrero	Dallas, US	2020-07-01
Kathy Turner	Rockwall, TX	2020-07-01
COREY DANIELS	Garland, TX	2020-07-01
michelle briseño	Compton, US	2020-07-01
Julia Zangrillo	Naples, US	2020-07-01
Lai'Ayla Flowers	Kansas City, US	2020-07-01
anthony perez	Houston, US	2020-07-01
Brianna Brisk	Milwaukee, US	2020-07-01
Christina Scott	Clinton, UT	2020-07-01
Jerisa Navare	Yakima, US	2020-07-01
Heather Vega	Elk Grove, CA	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Briana Selman	Houston, TX	2020-07-01
Nicholas Nelson	Warren, US	2020-07-01
Peggy Buck	Sherman Oaks, CA	2020-07-01
Rylee Mcglone	Chesapeake, US	2020-07-01
Mason Sanford	Bulverde, TX	2020-07-01
Lee Everest	Minot, US	2020-07-01
princess tall	garland, TX	2020-07-01
Yulanda Williams	Cibolo, TX	2020-07-01
Angi Spooner	Midland, TX	2020-07-01
Corey Hawley	Dallas, TX	2020-07-01
yeet neck	Elk grove, US	2020-07-01
Ivelisa Smith	Garland, TX	2020-07-01
marcus mathis	Wichita Falls, TX	2020-07-01
Nyah von Haam	Raleigh, US	2020-07-01
Felicia Taylor	Brentwood, CA	2020-07-01
Ty Lowry	Garland, TX	2020-07-01
Norman Kirk	Rockwall, TX	2020-07-01
Whitney Stokes	Irving, US	2020-07-01
Delandria Rose	Garland, TX	2020-07-01
Karl McCausey	Oklahoma City, OK	2020-07-01
Maricela Gutierrez	US	2020-07-01
Tamica Woodson Owoniyi	Mesquite, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
makena smith	Kihei, US	2020-07-01
FANNIE Smith	Rowlett, TX	2020-07-01
Chris Holden	Rockwall, TX	2020-07-01
Nancy Martinez	Kingsville, TX	2020-07-01
Greg Kizer	Rockwall, TX	2020-07-01
Julia McCormack	Dallas, US	2020-07-01
Whitney Bietendorf	Rockwall, TX	2020-07-01
Lakesha Lanier	Houston, TX	2020-07-01
aamani kakana	Lewes, US	2020-07-01
Aubrey Price	Richardson, TX	2020-07-01
Kim nelson	Wylie, TX	2020-07-01
Shatise Chism	Fort Worth, TX	2020-07-01
Darell Clark	Rockwall, TX	2020-07-01
Lyndsi James	Clover, SC	2020-07-01
Louise Fouquerel-Skoe	Bemidji, US	2020-07-01
dodie tunnell	Mount Pleasant, TX	2020-07-01
Valarie Rivas	Manassas, US	2020-07-01
Mel Rodriguez	New York City, US	2020-07-01
Lourdes Rodriguez	Dallas, US	2020-07-01
Georgia Perry	Hinesville, US	2020-07-01
Crystal Kemper	Rockwall, TX	2020-07-01
John Tucker	Rockwall, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Thomas Jackson	Mcperson, KS	2020-07-01
Crystal Henry	Tyler, TX	2020-07-01
Ryon Gilmer	Guthrie, OK	2020-07-01
Kelvin Jones	Lancaster, TX	2020-07-01
Mark McCoy	Rockwall, TX	2020-07-01
Petrina D'Antonio	Jackson, US	2020-07-01
Nicolas Bardin	Dallas, TX	2020-07-01
Alexis Bailey	Rockwall, TX	2020-07-01
Jazelle Wright	Clinton, US	2020-07-01
Charlene Smith	US	2020-07-01
Ashlee' B. Kimbrough	Cedar Hill, TX	2020-07-01
Ashlyn Felter	Goshen, US	2020-07-01
Donald Julien	New Orleans, LA	2020-07-01
Janiet Knighten	Dallas, TX	2020-07-01
Garrett Brisco	Stillwater, OK	2020-07-01
Demetrius McCrainey	Allen, TX	2020-07-01
taniya lane	East Point, US	2020-07-01
Toni Dodd	Austin, TX	2020-07-01
Brianne Gallagher	Union, NJ	2020-07-01
Samantha Canady	Brooklyn, US	2020-07-01
Knox Frizzell	Mckinney, TX	2020-07-01
Michelle Sullivan	Congers, NY	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Xavier P	Union City, NJ	2020-07-01
Walter Coleman	La Place, LA	2020-07-01
Pamela Solkema	Terrell, TX	2020-07-01
David Walker	Frisco, TX	2020-07-01
rebecca shepherd	montgomery, US	2020-07-01
Jehane Hoagland	Grover Hill, OH	2020-07-01
Kinsey Stango	Dallas, TX	2020-07-01
Forrest Shaw	Boulder, CO	2020-07-01
Mj Clark	Rowlett, TX	2020-07-01
Milan Deloach	Norfolk, US	2020-07-01
Marcus Womack	Irving, TX	2020-07-01
Pat Daugherty	Rockwall, TX	2020-07-01
Ivory Oubre	Mesquite, TX	2020-07-01
Walkita White	Rancho Cordova, US	2020-07-01
Dana Burress	Nevada, TX	2020-07-01
Sandra Rogers	Rockwall, TX	2020-07-01
Darlene Myers	Nevada, TX	2020-07-01
Kelsiee Foster	Round Rock, TX	2020-07-01
Emma Hall	Ludlow, US	2020-07-01
Stella Ackerman	North Aurora, US	2020-07-01
Elizabeth Mooney	Round Rock, TX	2020-07-01
Erica Cola	Donaldsonville, LA	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Debra Miller	farmersville, TX	2020-07-01
Breda Moynagh	Westwood, NJ	2020-07-01
Laura Dennis	Dallas, TX	2020-07-01
Irene Beele	Dallas, TX	2020-07-01
Lauren Miller	Atlanta, GA	2020-07-01
Giselle Winegar	Darien, US	2020-07-01
Ronnie Allman	US	2020-07-01
a d	clifton park, US	2020-07-01
rachel medeiros	Nashua, US	2020-07-01
Cynthia Reed	Garland, TX	2020-07-01
Dawnie Chambers	Garland, TX	2020-07-01
Kaitlyn Blackwell	Colorado Springs, US	2020-07-01
Iwaya Gadson	Anchorage, US	2020-07-01
Matthew Bennett	Dallas, TX	2020-07-01
Sarah Breitman	Boca Raton, US	2020-07-01
Alejandra guillen	Sacramento, CA	2020-07-01
Green Tea	LA, US	2020-07-01
Michelle Martin	Rockwall, TX	2020-07-01
Jim Gardner	Allen, US	2020-07-01
Abigail Czapla	Myrtle beach, US	2020-07-01
Demetrio Garza	Dallas, TX	2020-07-01
Christina Carpenter	Houston, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Racquel Ramlall	Ozone park, US	2020-07-01
Jessica Buck	Santa Monica, CA	2020-07-01
J M	Phoenix, US	2020-07-01
Earnest Daniels	Rockwall, TX	2020-07-01
Destiny Jernigan	Rockwall, TX	2020-07-01
Hana post	Denver, US	2020-07-01
Alexis Hernandez	Denver, US	2020-07-01
Christian Macias	Bronx, US	2020-07-01
Ashley Neal	Phoenix, US	2020-07-01
Mary Languell	Guthrie, OK	2020-07-01
Chrystal F	Denver, US	2020-07-01
Eric Moore	Desoto, TX	2020-07-01
Hazel Rosas	Los Angeles, US	2020-07-01
Samuel Stewart	Dallas, TX	2020-07-01
Daniel Morales	Plano, TX	2020-07-01
Tracy Odell	Fort Hood, TX	2020-07-01
Charlotte Hoigard	La Grange, IL	2020-07-01
Alondria Johnson	Dallas, TX	2020-07-01
Maura O'Mahony	Wilmington, US	2020-07-01
Yer Yer	Silver Spring, US	2020-07-01
Jalyn Day	Glenwood, US	2020-07-01
Lizzy Melendy	lafayette, NJ	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Mia Oyekunle	Sugar Land, US	2020-07-01
Angela Smith	Rockwall, TX	2020-07-01
Sheri Clinard	Rockwall, TX	2020-07-01
Jan Parker	Plano, TX	2020-07-01
Mary Lewis	Plover, WI	2020-07-01
Kenneth Mims	Richardson, TX	2020-07-01
Aixa Resendiz	Marina, US	2020-07-01
Ian Kellerman	Wilmington, US	2020-07-01
Sandra Martinez	Dallas, US	2020-07-01
Ashley Hardial	Queens, US	2020-07-01
Elizabeth Reyes	San Marcos, US	2020-07-01
Karen Coleman	Lewisville, TX	2020-07-01
Precious Ekeke	Leander, TX	2020-07-01
Ursula Markey	Edgard, LA	2020-07-01
S Cunningham	Mesquite, TX	2020-07-01
Monae Carter	Cedar Hill, TX	2020-07-01
Sol Foster	Denver, US	2020-07-01
Guadalupe Munoz	Miami, US	2020-07-01
Nora Erlandson	Verona, US	2020-07-01
Vivian Wimberly	Sacramento, CA	2020-07-01
Avery L	Houston, US	2020-07-01
Mike Daugherty	Royse City, TX	2020-07-01

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jordan Cummins	Little Elm, US	2020-07-01
Shayna Daugherty	Royse City, TX	2020-07-01
Crystal Toussaint	Newport News, US	2020-07-01
Derek Alford	Allen, TX	2020-07-01
Matthew Rose	Austin, TX	2020-07-01
Annika Stott	Albany, US	2020-07-01
Monica Costello	Los Angeles, US	2020-07-01
Mary Barringer	Murphysboro, IL	2020-07-01
Kennedy Riley	Fort Washington, US	2020-07-01
Jessie Copher	Coeur D'alene, US	2020-07-01
Isabella Holguin	Fontana, US	2020-07-01
Anthony Bates	Mesquite, TX	2020-07-01
Demond Minor	Mesquite, TX	2020-07-01
Liliana Alfaró Reyes	Bay Shore, US	2020-07-01
hannah turner	Columbus, US	2020-07-01
Alicia Ordonez	Sibley, US	2020-07-01
Angie Gonzalez	Dallas, US	2020-07-01
Shea Drayton	Garland, TX	2020-07-01
Carolyn Webber	Arlington, TX	2020-07-01
Crystal Pink	Arlington, TX	2020-07-01
diana casas	San Juan, US	2020-07-02
lili centeno	Simi Valley, US	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
Sierra Roberts	Sun City, US	2020-07-02
Alicia Karriem	Dallas, TX	2020-07-02
Njeri Forrester	New York, US	2020-07-02
America Rojas	Las Vegas, US	2020-07-02
James Garrett	Rockwall, TX	2020-07-02
Ginger Torres	Murphy, TX	2020-07-02
Alexandra Carmona	Rochester, US	2020-07-02
michelle ramirez	Prosser, US	2020-07-02
Anna Posh	Morgantown, US	2020-07-02
Margaret Carwile-Wills	Dallas, TX	2020-07-02
Tim McCoy	Rockwall, TX	2020-07-02
Urrassia Woods	Chicago, US	2020-07-02
Richard A. Truby Jr.	Mission Viejo, US	2020-07-02
Cadron Davis	Garland, TX	2020-07-02
Kierra Cruz	Dallas, TX	2020-07-02
Klarissa Trevino	Houston, US	2020-07-02
Sonia Solano	San Bernardino, US	2020-07-02
Daniella Puglisi	Suisun City, US	2020-07-02
alex torez	El Paso, US	2020-07-02
Mary Stuart	Richardson, US	2020-07-02
Eric Myers	Royse City, TX	2020-07-02
Elizabeth Partain	Fairfield, TX	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
Zoe Raya	Las Vegas, US	2020-07-02
Rachele Castro	Emporia, US	2020-07-02
Shineika Anthony	Rockwall, TX	2020-07-02
Ron Merritt	Rockwall, TX	2020-07-02
Caleigh Renzella	Wellesley Hills, US	2020-07-02
Prisilla Hernandez	Los Angeles, US	2020-07-02
Leticia clary	Dallas, TX	2020-07-02
Haskell Garrett	Skiatook, OK	2020-07-02
Justin Carden	Arlington, TX	2020-07-02
George Honalulu	Denver, US	2020-07-02
Julissa Colorado	Chattanooga, US	2020-07-02
Shelia Knuckkes	Forney, TX	2020-07-02
kat J	US	2020-07-02
Uzziel montelongo	Grand Prairie, TX	2020-07-02
Yee Yeetis	Yee, US	2020-07-02
Abby Saddoris	Cedar Rapids, US	2020-07-02
Nichole Durant	Cedar Hill, TX	2020-07-02
ronald thompson	Garland, TX	2020-07-02
Katalina Van dijk	San Francisco, US	2020-07-02
Taylor ElliottDolor	Tuscaloosa, US	2020-07-02
Dominique Henry	Plano, TX	2020-07-02
Jocelyn Martinez	Camarillo, US	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
CHARLENE Ehoró	Mesquite, TX	2020-07-02
Kefin Kaba	Dallas, TX	2020-07-02
Paula Valera	Los Angeles, US	2020-07-02
Rainbow Smith	Riverside, US	2020-07-02
Sam Loreto	Austin, US	2020-07-02
Melanie dominguez	Katy, US	2020-07-02
Maggie Cox	Wartburg, US	2020-07-02
Tamara McLaughlin	Garland, TX	2020-07-02
Jarrod Williams	Dallas, TX	2020-07-02
Frances Wilson	Elk Grove, CA	2020-07-02
eduardo martinez	Compton, US	2020-07-02
Fiona Bogart	Orlando, FL	2020-07-02
Shakayla Brown	Rockwall, TX	2020-07-02
Zoey Jackson	Chino hills, US	2020-07-02
Michelle Mac Adam	US	2020-07-02
blanca petrova	Los Angeles, US	2020-07-02
Julie Anne Simbulan	Lancaster, US	2020-07-02
gwyneth pantonial	Palm Harbor, US	2020-07-02
amanda dixon	Plainfield, US	2020-07-02
Scotty Hecker	Royal Oak, US	2020-07-02
Tiffani K Thomas	Mesquite, TX	2020-07-02
Alex Hwang	Dallas, TX	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
kaitlyn robes	Madera, US	2020-07-02
Kathie Fredette	Balch Springs, TX	2020-07-02
Gabrielle Paulo	Gilbert, US	2020-07-02
Kari Pacheco	Wylie, TX	2020-07-02
Yolanda Cornelius	DeSoto, TX	2020-07-02
Suzann Baswell	Dallas, TX	2020-07-02
Kim Staman	Terrell, TX	2020-07-02
Robyn Meyer	Royse City, TX	2020-07-02
Jenny Bellamy	Rockwall, TX	2020-07-02
Cam Parker	Rockwall, TX	2020-07-02
Rachel Gerholdt	Mchenry, US	2020-07-02
Hayley Mullane	Dallas, TX	2020-07-02
Stephanie Torres	Rockwall, TX	2020-07-02
Rebecca Hensel	Rockwall, TX	2020-07-02
Myah Eve	Elwood, US	2020-07-02
Elizabeth Reese	Rockwall, TX	2020-07-02
Amy Pennell	Rockwall, TX	2020-07-02
Toni Bryant	Arlington, TX	2020-07-02
Amy Cooper	Rockwall, TX	2020-07-02
Karen Roggenkamp	US	2020-07-02
Michaëlle Carney	Royse City, TX	2020-07-02
Kate Baynham	San Francisco, US	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
nhiminh hoang	Dorchester, US	2020-07-02
Candice Fuller	Royse City, US	2020-07-02
Liliana Patracuolla	Lake Hiawatha, US	2020-07-02
Lisa Backs	Rockwall, TX	2020-07-02
Beep Boop	Harlingen, US	2020-07-02
Cristal :3	Raleigh, US	2020-07-02
Lauren Baez	Bridgeton, US	2020-07-02
Kathryn Ball	Rockwall, TX	2020-07-02
Chris Conway	Rockwall, TX	2020-07-02
Christopher Jenkins	Riyadh, Saudi Arabia	2020-07-02
Dellene Burgamy	Rockwall, TX	2020-07-02
Anedra Bowens	North Las Vegas, NV	2020-07-02
sasha jones	Hyattsville, US	2020-07-02
Ah Help	Richmond, US	2020-07-02
Holly Stephens	Rockwall, TX	2020-07-02
Jennifer Garcia	Dallas, TX	2020-07-02
jennifer perez	Irving, US	2020-07-02
Lori OCallaghan	Rockwall, TX	2020-07-02
Ana Constante	Miami, US	2020-07-02
Josie Seuler	Brookfield, US	2020-07-02
Mia Calvillo	Santa Ana, US	2020-07-02
Martha Elliott	Glen Allen, VA	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
Mirielle Caradonna	Dallas, US	2020-07-02
Debra Fugate	Dallas, TX	2020-07-02
Pamela Chambers	Sacramento, CA	2020-07-02
Alannah Wilkinson	Rockwall, TX	2020-07-02
Sophia Hernandez	San Diego, US	2020-07-02
Semetra McNeal	Dallas, TX	2020-07-02
Melissa Saavedrs	Rockwall, TX	2020-07-02
Sonia Garcia	Los Angeles, US	2020-07-02
Javiana Golden	Oklahoma	2020-07-02
Ruby Eskin	Minneapolis, US	2020-07-02
Adaora Eziemefe	Bowie, US	2020-07-02
Kamall Richards	Tobyhanna, US	2020-07-02
Tamerria Dansby	Dallas, US	2020-07-02
briana gonzalez	Pico Rivera, US	2020-07-02
Isabella Young	Fort Worth, US	2020-07-02
Marley Diallo	Bronx, US	2020-07-02
Maria Figueroa	Brentwood, US	2020-07-02
Zyuritzy Chavez	Wilmington, US	2020-07-02
Katherine Mcmillan	Berea, US	2020-07-02
Jeff Stout	Arlington, TX	2020-07-02
Ale Lazo	Goose Creek, US	2020-07-02
Nicholes Garcia	Beaufort, US	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
Daren Caraway	Mesquite, TX	2020-07-02
Holly Johnston	Ontario, US	2020-07-02
John Dickson	Kemp, TX	2020-07-02
Margot Ngo	Garden Grove, US	2020-07-02
Miguel Labrada	Dallad, US	2020-07-02
Kathy Mendez	Jonesboro, US	2020-07-02
luz elena mendoza	Portland, US	2020-07-02
Mary Segura	Del Valle, US	2020-07-02
Daddy Ana (cmp)	Indio, US	2020-07-02
Barbara King	Salem, US	2020-07-02
Maxine Amaru	San Diego, US	2020-07-02
Tiana Brown	Kyle, US	2020-07-02
Caleesha Martin	Rochester, US	2020-07-02
Kenya Roberson	Pflugerville, US	2020-07-02
Rocio Perez	Bell Gardens, US	2020-07-02
Grady Baker	Portland, US	2020-07-02
Joesph Royster	Winston-salem, US	2020-07-02
Sabrina Alvarez	Perris, US	2020-07-02
Jo ann Williams	Rockwall, TX	2020-07-02
Kortni Standifer	Tulsa, OK	2020-07-02
genesis jovel	Baldwin Park, US	2020-07-02
Karissa Duff	Kent, US	2020-07-02

<b>Name</b>	<b>Location</b>	<b>Date</b>
Nick Tobar	Concord, US	2020-07-02
Sam Silverman	Nashville, TN	2020-07-02
Orlando Williams	Arlington, TX	2020-07-02
Mia Cuevas	Chicago, US	2020-07-02
Nayo Jackson	Skillman, US	2020-07-02
Ana Padilla	Salem, US	2020-07-02
Mariela Olvera	Elgin, US	2020-07-02
Kayla Mejia	Mckinney, US	2020-07-02
Alesandra Cariaga	Rocklin, US	2020-07-02
Ascheley Loidor	Orlando, US	2020-07-02
jacqueline gomez	brownsville, US	2020-07-02
Caylie Langdon	Saratoga springs, US	2020-07-02
lauren baehr	Phoenix, US	2020-07-02
Kalet Reyes	Garland, TX	2020-07-03
Amy Vera	New York City, US	2020-07-03
Kat Nelson	Rockwall, TX	2020-07-03
Alexandra Citan	Prairieville, US	2020-07-03
Sarah Hogan	Long Beach, US	2020-07-03
ashley c	homestead, US	2020-07-03
Rebeca García	Anaheim, US	2020-07-03
Sierra Walker	North Las Vegas, US	2020-07-03
AJ Contreras	Tustin, US	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Katelyn Boebel	Menomonee Falls, US	2020-07-03
braylee thomas	Benton, US	2020-07-03
Beau Amaya	Astoria, NY	2020-07-03
Deandra Richardson	Grand Prairie, TX	2020-07-03
Natalie Schmitt	LaFayette, NY	2020-07-03
Mily Bonilla	Frisco, TX	2020-07-03
Alicia Howell	Rocky Mount, US	2020-07-03
Michele Herod	Houston, TX	2020-07-03
Bob Barstow	Cordova, TN	2020-07-03
Iris Hernandez	Indianapolis, US	2020-07-03
Patty Trevino	York, PA	2020-07-03
Alana Brightman	Germantown, US	2020-07-03
Victoria Herrera	Lodi, US	2020-07-03
Matthew Awitan	Gunnison, US	2020-07-03
Holley Moore	Warren, US	2020-07-03
Carolyn Durham	Dallas, TX	2020-07-03
Angelina Ortega	Orlando, US	2020-07-03
Jay Lewis	Chesterfield, US	2020-07-03
Emerson Fowler	Seymour, US	2020-07-03
Clarisa lindenmeyer	Dallas, TX	2020-07-03
Pat Williams	Dallas, TX	2020-07-03
Waynnisha Dabney	Lancaster, TX	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Emmanuel Lopez	Dallas, TX	2020-07-03
Claudia Hurtado	atizapan, Mexico	2020-07-03
Jeremy Deckert	Mabank, TX	2020-07-03
Christian Decasa	Huntington Beach, US	2020-07-03
Kelvin Perry	San Leandro, US	2020-07-03
Asia McCoy	NY, NY	2020-07-03
Barrie Glasscock	Rockwall, TX	2020-07-03
Heather Lancaster	Rockwall, TX	2020-07-03
Jacqueline Estrada	Chicago, US	2020-07-03
Matthew Milian	Pompano Beach, US	2020-07-03
Jamie Zimmer	Rockaway Park, NY	2020-07-03
Jazmine Cabral	Las Vegas, US	2020-07-03
Zoe McCullough	New York, NY	2020-07-03
Mimi Caraway	Dallas, TX	2020-07-03
Louis Pargoud	EL Paso, TX	2020-07-03
Nyshi Kahn	Lakeworth, FL	2020-07-03
Unique Mendoza	Eugene, US	2020-07-03
Kaylee Cartier	Brandon, US	2020-07-03
Ashton Westfall	Spanaway, US	2020-07-03
Lucy Hart	Dallas, TX	2020-07-03
Monireh Levinson	Phoenix, US	2020-07-03
Troy Dabney	Mesquite, TX	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Hannah Guzik	Bordertown, US	2020-07-03
Janelle Steinberg	Rockwall, TX	2020-07-03
Amanda Guerrero	New York, NY	2020-07-03
Kirstan Clifford	London, UK	2020-07-03
Peggy Bartholomew	Grand Prairie, TX	2020-07-03
Jessica Simmons	Dallas, TX	2020-07-03
Maggie Kotecki	Denver, US	2020-07-03
Mia Reginelli	Chesterfield, US	2020-07-03
Gwendolyn kinder	Red Oak, TX	2020-07-03
Andrea Jones-Henderson	Rockwall, TX	2020-07-03
Anahi Arellano	Antioch, US	2020-07-03
Ava Leon	Marion, US	2020-07-03
Maira Pedraza	Sunnyvale, US	2020-07-03
Damon Reid	The Colony, TX	2020-07-03
Lyndsey Griffin	Forney, TX	2020-07-03
Gloria Viamontes	Hoboken, NJ	2020-07-03
Cinthia Lopez	North Hollywood, US	2020-07-03
Allison Simard	Ballston Spa, US	2020-07-03
Narda Solares	Porter Ranch, US	2020-07-03
Cristobal Ortega	Mesa, US	2020-07-03
Caleb Dabney	Garland, TX	2020-07-03
Ash Ruiz	Meridian, US	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
maggie chivers	Villa Rica, US	2020-07-03
Jessica Erban	Honolulu, US	2020-07-03
no no	Portland, US	2020-07-03
Aniya Bowleg	Miami, US	2020-07-03
Udaiyaa Bommudurai	Tracy, US	2020-07-03
Shawntae Barnard	Inglewood, US	2020-07-03
Andrea Crisostomo	Redondo Beach, US	2020-07-03
Lupita Nava	Chico, US	2020-07-03
Abbigail Upchurch	Fort Rucker, US	2020-07-03
Evelyn Cruz	Immokalee, US	2020-07-03
misha bari	irvine, US	2020-07-03
Ferran De Mendoza Soler	Brooklyn, US	2020-07-03
Lindsay Haynes	Dallas, TX	2020-07-03
Rob Sherrard	Mckinney, TX	2020-07-03
Ashley Ogega	Lexington, US	2020-07-03
Bryan Cimicata	Carlsbad, CA	2020-07-03
Samantha Jensen	Henrico, US	2020-07-03
Connie Estes	New York, NY	2020-07-03
Avri Boswell	Dallas, TX	2020-07-03
Kiara Battle	Bronx, US	2020-07-03
Karen Lazaretos	Staten Island, NY	2020-07-03
kennedi devericks	Fayetteville, US	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Sierra Iverson	Sacramento, US	2020-07-03
lily smith	Sarasota, US	2020-07-03
Doris Haynes	Fort Worth, TX	2020-07-03
Deja Golette	Dallas, US	2020-07-03
Lynn Etta Manning	Rockwall, TX	2020-07-03
Rob McChesney	Minneapolis, US	2020-07-03
Alison Bentley	Arcata, US	2020-07-03
Kelly Turner	Mesquite, TX	2020-07-03
cate house	Minneapolis, US	2020-07-03
Emily von Dohlen	Charlotte, US	2020-07-03
Kyle Rohrbaugh	Royersford, US	2020-07-03
Krystal Rodriguez	Richmond, US	2020-07-03
Erin Debrackeleire	Palatine, US	2020-07-03
miley charsky	Ithaca, US	2020-07-03
Julia Money Penny	Charleston, US	2020-07-03
michiko inamoto	Aubrey, US	2020-07-03
Cameron priest	Garland, TX	2020-07-03
Justin Shipley	Austin, TX	2020-07-03
Aris Graber	Gulf Breeze, US	2020-07-03
Kara Brown	Austin, US	2020-07-03
Kiersten Veal-Bradley	Overland Park, US	2020-07-03
Shelby Schoffstall	Claymont, US	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Matthew van Bruggen	Chicago, US	2020-07-03
Sophia Johnson	Olive branch, US	2020-07-03
Emily Hernandez	Houston, US	2020-07-03
Michelle Morgan	Westwood, US	2020-07-03
Jasmine Vergara	Covington, US	2020-07-03
Yasmin Gomez	Lombard, US	2020-07-03
Mahima Chowdhary	Morristown, US	2020-07-03
eric ford	Rockwall, TX	2020-07-03
Freyja Pouncy	Las Vegas, US	2020-07-03
Stephanie Ramos	Edinburg, US	2020-07-03
Miku Nambara	Springfield, US	2020-07-03
Alfredo Pedraza	McMinville, US	2020-07-03
Joseph Amyson	Dallas, TX	2020-07-03
alyaa elsafy	Springfield, US	2020-07-03
Stephanie Bow	Cedar Hill, TX	2020-07-03
Alex Gassen	Independence, US	2020-07-03
Erendida Cruz	Pasadena, US	2020-07-03
Persaya Cortez	San Francisco, US	2020-07-03
Jane Wallace	Forney, TX	2020-07-03
Lillian Boldt	Salisbury, US	2020-07-03
KeyLana Flemming	Long Lake, US	2020-07-03
Savauhn Williams	Lawton, US	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Angelica Malau	Fontana, US	2020-07-03
Mia Seaberry	Metairie, US	2020-07-03
Samantha Romero	Tracy, US	2020-07-03
Hajra Khurram	Blacklick, US	2020-07-03
Cynthia Lindenmeyer	Rockwall, TX	2020-07-03
Marie Cooper	Rockwall, TX	2020-07-03
Damon Sharp	Boise, US	2020-07-03
Marissa Colombo	San Mateo, US	2020-07-03
Georgia Lee	Rowlett, TX	2020-07-03
Kenyon Clack	San Antonio, TX	2020-07-03
Martha Gomez	Hemet, US	2020-07-03
Sofia Rivera	Orlando, US	2020-07-03
Aisha Abbasi	Dallas, US	2020-07-03
gigi metevier	Dewitt, US	2020-07-03
Stacy Young	Rockwall, TX	2020-07-03
Jasmine Kent	Claxton, US	2020-07-03
ebube Agwaramgbo	Belle Chasse, US	2020-07-03
Ariana De La O Ruiz	Moreno Valley, US	2020-07-03
Niesha Colbert	Grand Prairie, TX	2020-07-03
Skylar Smith	Fontana, US	2020-07-03
Alexandra Zetterberg	Laguna Niguel, US	2020-07-03
Armani Barnes	Palo Alto, US	2020-07-03

<b>Name</b>	<b>Location</b>	<b>Date</b>
Hailey Sterna	Matteson, US	2020-07-03
Shaquisha Scott	Omaha, US	2020-07-03
Vincent Harris	Rockwall, TX	2020-07-04
Alberta Dunn	Dallas, TX	2020-07-04
Elise Coleman	Boulder, US	2020-07-04
Kaiya Ortiz	Kailua Kona, US	2020-07-04
Aisline Alvarez	Chesterfield, US	2020-07-04
Dallas Lewis	Birmingham, US	2020-07-04
Kayla Le	Boca Raton, US	2020-07-04
Yug Patel	Harleysville, US	2020-07-04
Billy Jones	College Station, TX	2020-07-04
janiece diaz	Secaucus, US	2020-07-04
Emily Barreras	San Diego, US	2020-07-04
Daniela Rodriguez	San Antonio, US	2020-07-04
candace polson	rockwall, TX	2020-07-04
Abigail Reyes	Sugar hill, US	2020-07-04
Tyler Wells	Greenville, TX	2020-07-04
Yolanda Fuller	Mesquite, TX	2020-07-04
samara opoku	Camarillo, US	2020-07-04
Jamiah Hilliard	South Euclid, US	2020-07-04
heidi j	Indianola, US	2020-07-04
L. Jones	Rancho Cordova, CA	2020-07-04

<b>Name</b>	<b>Location</b>	<b>Date</b>
Isabella Daniel	atlanta, US	2020-07-04
Angelique Ferrell	Columbia, US	2020-07-04
James Rosemond	Springfield, US	2020-07-04
Chelsy Aguilar	Houston, US	2020-07-04
Desirre Octave	Vacherie, LA	2020-07-04
Chi Huynh	Vallejo, US	2020-07-04
Will Davis	Allen, US	2020-07-04
Archie Dongyoon	Houston, US	2020-07-04
Aiden Talbot	Newport News, US	2020-07-04
alyssa yuh	Chula Vista, US	2020-07-04
Regina Whitlock	Garland, TX	2020-07-04
Cadence Pelt	Birmingham, US	2020-07-04
Lorena Morales	Los Angeles, US	2020-07-04
dolyn edwards	Waukesha, US	2020-07-04
Patricia Dinero	Dallas, US	2020-07-04
Amy Vazquez	Spring, US	2020-07-04
Amber Martinez	Egg Harbor Township, US	2020-07-04
KayCi Wolf	San Antonio, US	2020-07-04
Emily Phan	Arlington, US	2020-07-04
Kayla Hurst	Saint Louis, US	2020-07-04
Megan Wise	Chatsworth, US	2020-07-04
Valerie Barraza	Fort Worth, US	2020-07-04

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jewelyka Parra	Philadelphia, US	2020-07-04
Dre Shorter	Alton, US	2020-07-04
Julia Juneau	Las Vegas, US	2020-07-04
Xochilt quintero	Greenbelt, US	2020-07-04
Maxx Becker	Athens, US	2020-07-04
Mary McDaniel	Salt Lake City, US	2020-07-04
John Seuteni	Anchorage, US	2020-07-04
Christina Ramirez	Westbury, US	2020-07-04
Katelynn Greathouse	Southwest City, US	2020-07-04
Matthew Dresdner	Minneapolis, US	2020-07-04
Bridgette Ellison Ellison	Millington, TN	2020-07-04
Isabella Martinez Guzman	Klamath Falls, US	2020-07-04
Miguel Caldera	Riverside, US	2020-07-04
Aryanna Lechuga	Orange, US	2020-07-04
Alyssa Rubio	Portland, US	2020-07-04
jennifer jimenez-naranjo	Corona, US	2020-07-04
Lydia Bonecutter	Pinehurst, US	2020-07-04
D'Auna Conner	Anaheim, US	2020-07-04
carolina tovar	Las Vegas, US	2020-07-04
cynthia alvarez	Los Angeles, US	2020-07-04
Jerald Haskins	Capitol Heights, US	2020-07-04
Sandra Jones	Dallas, TX	2020-07-04

<b>Name</b>	<b>Location</b>	<b>Date</b>
Charlie Reed	Concord, US	2020-07-04
Vivian Deng	San Francisco, US	2020-07-04
maya y	New York, US	2020-07-04
Lacey Berreth	Atlanta, US	2020-07-04
Kathryn S	Silver Spring, US	2020-07-04
jim defrancesco	Yarmouth Port, MA	2020-07-04
Kiyanna Scott	Savannah, US	2020-07-04
Ashley Jimenez	Bronx, US	2020-07-04
Amelia Powers	Lancaster, US	2020-07-04
Elizabeth Ellis	Quinlan, TX	2020-07-04
Kellie Pritchett	Mechanicsville, US	2020-07-04
Jerrin Glade	Saint Cloud, US	2020-07-04
Ely Lopez	Richardson, US	2020-07-04
Portia Russell	Jonesboro, US	2020-07-04
Leslie Flores	Brevard, US	2020-07-04
Trinity Hogan	Copperas Cove, US	2020-07-04
Heidi P	Vandergrift, US	2020-07-04
Ainsley Mayes	Portland, US	2020-07-04
Hannah Nowoslawski	Philadelphia, US	2020-07-04
Fabian Vallejos	East Windsor, US	2020-07-04
Tonya Rettig	Dallas, TX	2020-07-04
Ella Friedman	Deerfield, US	2020-07-04

<b>Name</b>	<b>Location</b>	<b>Date</b>
Daniela Rodriguez	Three Springs, US	2020-07-04
Susanna Avis	Jupiter, US	2020-07-04
ana daniela	Tucson, US	2020-07-04
Arisbeth Flores	Davidson, US	2020-07-04
Aidan Heaney	Belfast, US	2020-07-04
Brenda Perez	Hemet, US	2020-07-04
Hazel Harris	Dallas, TX	2020-07-04
Jenn Hernandez	Mcallen, US	2020-07-04
Kiara Estrada	Seattle, US	2020-07-04
sophiany Chery	Miami, US	2020-07-04
Brady Lewis	Fort Worth, US	2020-07-04
victoria wotring	Fullerton, US	2020-07-04
Ashley O'Brien	Whitman, US	2020-07-04
Tristan Witter-Lowry	Orlando, US	2020-07-04
Griffin Gomez	Bronx, US	2020-07-04
Alisha H	Rapid City, US	2020-07-04
vaishnavi n	Columbus, US	2020-07-04
liset gonzalez	hanford, US	2020-07-04
Iker Suastegui-Perulero	Atlanta, US	2020-07-04
Nicole Beres	Grapevine, US	2020-07-04
LaReco Dixon	San Antonio, TX	2020-07-04
mary velasco	San Francisco, US	2020-07-04

<b>Name</b>	<b>Location</b>	<b>Date</b>
Chrystal Mosley	Katy, US	2020-07-04
Leilani Orellana	Ventura, US	2020-07-04
kelly davis	Yonkers, US	2020-07-04
Deborah Williams	Bronx, US	2020-07-04
Irene Gutierrez	Santa Ana, US	2020-07-04
Arianna Pineda	Corona, US	2020-07-04
Leslie De Lira	Denver, US	2020-07-04
Conor Lumpkin	Fort Worth, US	2020-07-04
Jenna B	Nashville, US	2020-07-04
Clare Buday	Pinckney, US	2020-07-04
Save Barron	Fargo, US	2020-07-04
Sydney Cone	Oak Harbor, WA	2020-07-04
Anabella Pena	Somerville, US	2020-07-04
Hannah Ovalle	Weslaco, US	2020-07-04
Kk Umukoro	Richmond, US	2020-07-04
Keke Love	US	2020-07-04
Isabella Ramos	East Meadow, US	2020-07-04
Chloe March	Milford, US	2020-07-04
Cait Jenkyn	Belevdere, US	2020-07-04
Leslie Sanchez	Fort Lee, US	2020-07-04
Melissa Bailey	Dallas, TX	2020-07-05
Devin Hartsock	Los Angeles, US	2020-07-05

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jazmyn Garcia	Bakersfield, US	2020-07-05
Neftali Hidalgo	Beacon, US	2020-07-05
Jeannette Bonner	Saint Louis, MO	2020-07-05
Maddie Delande	Marblehead, US	2020-07-05
Maelin Moore	Steamboat Springs, US	2020-07-05
Spongebob Forever	San Carlos, US	2020-07-05
Julio Alvarez	Pasadena, US	2020-07-05
Vianny Richardson	New York, US	2020-07-05
Esina Burns	Maywood, US	2020-07-05
Carmella Bangkok	Rochester, US	2020-07-05
aylea t	Hialeah, US	2020-07-05
Brenna Halford	Brentwood, US	2020-07-05
Kat Seale	Los Angeles, US	2020-07-05
Leslie Acosta	Santa Ana, US	2020-07-05
virginia molina	Tucson, US	2020-07-05
jarezy contreras	San Francisco, US	2020-07-05
Lamonique Allen	Harker Heights, US	2020-07-05
Stephanie Herrera	Irving, US	2020-07-05
Isabella Guinta	Ormond Beach, US	2020-07-05
Joe Mama	Las Vegas, US	2020-07-05
Rene Quiggle	Elk Grove, US	2020-07-05
nazuna nito	Queens, US	2020-07-05

<b>Name</b>	<b>Location</b>	<b>Date</b>
Alanna Luong	Stockton, US	2020-07-05
Amanda Garcia	Jacksonville, US	2020-07-05
yenifer bonilla	Islip Terrace, US	2020-07-05
Penelope Garcia	Santa Maria, US	2020-07-05
nathalia castro	Stockton, US	2020-07-05
willie williams	Ashburn, US	2020-07-05
Nicole Rando	North Adams, US	2020-07-05
Peter Akorikin	Dallas, TX	2020-07-05
Merritt Delk	Wheeling, US	2020-07-05
Patricia Patricia Treadway	Garland, TX	2020-07-05
audrey garcía	Scranton, US	2020-07-05
Alex Hyde	Meadville, US	2020-07-05
Crystal Wadi	Inglewood, US	2020-07-05
erin austin	Warrington, US	2020-07-05
Jackeline Colon	Orlando, US	2020-07-05
Hailey Oliveira	Boca Raton, US	2020-07-05
Stan stanton	Arlington, TX	2020-07-05
Nijan Koirala	Austin, US	2020-07-05
Sophia Arden	Madison, US	2020-07-05
Lizzeth Cisneros	Montgomery, US	2020-07-05
Caroline Kreutzer	Portland, US	2020-07-05
Queen Williams	Tulsa, OK	2020-07-05

<b>Name</b>	<b>Location</b>	<b>Date</b>
ruby rodríguez	Tampa, US	2020-07-05
Tamara Terry	Longview, TX	2020-07-05
Ashley Dominguez	Hyattsville, US	2020-07-05
Kate Petersen	Fort Thomas, US	2020-07-05
Cassandra Cervantes	Pickerington, US	2020-07-05
Jacqueline Morales	Lake Worth, US	2020-07-05
Nathan Boswell	Chicago, US	2020-07-05
Allison Mack	Lynnfield, US	2020-07-05
Rosa Covarrubias	San Jose, US	2020-07-05
D P	Holland, US	2020-07-05
Jacob Nelson	Racine, US	2020-07-05
Dean Jones	San Pablo, US	2020-07-05
Jasmin Morales	Elkton, US	2020-07-05
Alix W	Fort Worth, US	2020-07-05
Berfin Yalcin	Watertown, US	2020-07-05
Gayle Albritton	Rockwall, TX	2020-07-05
Sadie Peyton	Zionsville, US	2020-07-05
Becky Cameron	Rockwall, TX	2020-07-05
Melody Ollua	Tustin, US	2020-07-05
Brandi Mallard	Rockwall, TX	2020-07-05
Evelyn Grajales	Columbus, US	2020-07-05
Carolyn Foster	Rockwall, TX	2020-07-05

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jose Moran	San Antonio, US	2020-07-05
Kathleen Espinosa	Royse city, TX	2020-07-05
Julia Win	Bayside, US	2020-07-05
Melisa Botello	Kansas City, US	2020-07-05
grace wilkinson	Santa Cruz, US	2020-07-05
LaVita Jones	Rockwall, TX	2020-07-05
CHANTELL JACKSON	Dallas, TX	2020-07-05
Becky Nabors	Rockwall, TX	2020-07-05
samra mojaddedi	Orangevale, US	2020-07-05
Alyssa Aguilar	Pomona, US	2020-07-05
Courtney Adams	Greenville, US	2020-07-05
Dasia Wilson	Atlanta, US	2020-07-05
Nayeli Castillo	Houston, US	2020-07-05
Curry Campbell	Jersey City, US	2020-07-05
Hollie Stevens	Westminster, US	2020-07-05
Nicole Velez	Miami, US	2020-07-05
kaylee savage	Beech Island, US	2020-07-05
April Whittaker	North Augusta, US	2020-07-05
Anelia Gonzalez	Cleveland, US	2020-07-05
C C	Hesperia, US	2020-07-05
Bilen Tesfu	Las Vegas, US	2020-07-05
Joralin Benitez	Brentwood, US	2020-07-05

<b>Name</b>	<b>Location</b>	<b>Date</b>
christopher soulary	Rowlett, US	2020-07-05
Daniela Carbajal	North Miami Beach, US	2020-07-05
Anthony Whiting	Austin, TX	2020-07-05
olivia chisholm	Greensboro, US	2020-07-05
Samantha Guerra	Dallas, TX	2020-07-05
Eric Ceafre	Redding, US	2020-07-05
Alayna Morris	Palmyra, US	2020-07-06
Tyonna Hunt	Indianapolis, US	2020-07-06
Natalya Mellor	New York, US	2020-07-06
Rohena Rajbhandari	Rockwall, TX	2020-07-06
Alfredric Buckley	Royse City, TX	2020-07-06
Jimena Becerra	Garland, US	2020-07-06
Emma Small	Tucson, US	2020-07-06
Sarah Eberly	Omaha, US	2020-07-06
Lauren Elinski	Glendale, US	2020-07-06
Zachary tescher	Oak Park, US	2020-07-06
Vanessa Isais-Meraz	Ivanhoe, US	2020-07-06
Lauren Crane	San Diego, US	2020-07-06
Branda Barnett	Wink, US	2020-07-06
Trinity Davis	Miami, US	2020-07-06
Keren Raz	Pittsburgh, US	2020-07-06
Addison Messer	Plano, TX	2020-07-06

<b>Name</b>	<b>Location</b>	<b>Date</b>
Ivy Levesque	Olympia, US	2020-07-06
Ava Shepherd	Minneapolis, US	2020-07-06
velasco dyrene	San Diego, US	2020-07-06
Hannah Wills	Somerset, US	2020-07-06
Aly Mccurtain	Honolulu, US	2020-07-06
Zachary Christensen	Minneapolis, US	2020-07-06
Alex Hernandez	Bakersfield, US	2020-07-06
Carol McKee	Rockwall, TX	2020-07-06
Elizabeth Harris-Davis	Mesquite, TX	2020-07-06
Carmen Singleton	Beaufort, US	2020-07-06
Zoe Starkey	Hanover, US	2020-07-06
Sandria Hyett	Mingo, US	2020-07-06
Christian Giadolor	Rockwall, TX	2020-07-06
Katie Welch	Rockwall, TX	2020-07-06
Patrick McInerney	Chelmsford, US	2020-07-06
Camille Stearns Miller	Rockwall, TX	2020-07-06
Rachael Washington	US	2020-07-06
khalila Paguia	La Crescenta, US	2020-07-06
Gessel Acosta	Placentia, US	2020-07-06
Kayla Fisher	Minneapolis, US	2020-07-06
JJ Charles	Fall River, US	2020-07-06
Alexis Duncan	Albuquerque, US	2020-07-06

<b>Name</b>	<b>Location</b>	<b>Date</b>
genesis ruano	Aurora, US	2020-07-06
Samantha Garcia	Riverside, US	2020-07-06
Kayonna Lewis	Norristown, US	2020-07-06
Keiko Yamamuro	San Diego, US	2020-07-06
bayli calais	Lafayette, US	2020-07-06
Kennedy Young	Dallas, TX	2020-07-06
Shirrayna Young	Rockwall, TX	2020-07-06
Ken Mills	Fort Worth, TX	2020-07-06
William Chinn	Rockwall, TX	2020-07-06
Bonnie Tholen	US	2020-07-06
Maureen Rodriguez	Dallas, TX	2020-07-06
Kadijah Williams	Marietta, US	2020-07-06
Pam East	Dallas, TX	2020-07-06
maddie idk	Oklahoma City, US	2020-07-06
Marlén Martínez	Houston, US	2020-07-06
Anna Martinez-Rivera	Phoenix, US	2020-07-06
craigg bellinger	Tacoma, US	2020-07-06
Hamdi Abdullahi	Chaska, US	2020-07-06
Brittney Valencia	Antioch, US	2020-07-06
Ashley De vere	Chicago, US	2020-07-06
Jackie Duarte	Athens, US	2020-07-06
Anna Saw	Easton, US	2020-07-06

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jeremiah De Castro	Richmond, US	2020-07-06
Najabi Uribe	Portland, US	2020-07-06
Carmen Huizar	California, US	2020-07-06
Becky Yetter	Fort Pierce, US	2020-07-06
Adi Valentin	Fremont, US	2020-07-06
Ava Diaz	Rancho Palos Verdes, US	2020-07-06
kyobe kiragaya	Marietta, US	2020-07-06
Aline Diaz	Porterville, US	2020-07-06
Tonya Parker	Atlanta, GA	2020-07-06
arrianna	Phoenix, US	2020-07-06
Erica Barnes	Las Vegas, US	2020-07-06
Betzaida Valladares	Wapato, US	2020-07-06
Lizbeth Alfaro	Santa Maria, US	2020-07-06
Melenia Trump	place, US	2020-07-06
Crystal Sanchez	Greenville, US	2020-07-06
Swanice Holman	Winchester, US	2020-07-06
kyra h	Hinsdale, US	2020-07-06
William Aguirre	Northport, US	2020-07-06
Tanya Bevis	San Diego, US	2020-07-06
Pamela Miley	Heath, TX	2020-07-06
Nancy Martínez-Ruiz	Wilmington, US	2020-07-06
Daniela Gutierrez	Riverview, US	2020-07-06

<b>Name</b>	<b>Location</b>	<b>Date</b>
Haylie Nuno	Arcadia, US	2020-07-06
Kayla Tumbaga	Royse City, TX	2020-07-06
Iesa Walker	Rockwall, TX	2020-07-06
Ava Massie	Irving, US	2020-07-06
Carissa Adarkwah	Charlotte, US	2020-07-06
Jennifer Millan-Salinas	Atlanta, US	2020-07-07
Kuulika Mclemore	South Charleston, US	2020-07-07
Kali Daniels	Oakland, US	2020-07-07
Stephanie Garcia	Moreno Valley, US	2020-07-07
Vanessa Pena	Peoria, US	2020-07-07
LaDon Moore	Bowie, US	2020-07-07
Lupe Aguilera	Strathmore, US	2020-07-07
Sophie Hill	Columbus, US	2020-07-07
Emma Panzica	Chicago, US	2020-07-07
Ava Cruz	New Egypt, US	2020-07-07
Lila Sturm	Abingdon, US	2020-07-07
Jessica Pascale	Boonton Township, US	2020-07-07
Bella Ulrych	Denver, US	2020-07-07
Jael Hede	Yakima, US	2020-07-07
Rebekah Daley	Plano, US	2020-07-07
Charles Kinlaw	Trio, US	2020-07-07
Michelle Hoover	Smyrna, US	2020-07-07

<b>Name</b>	<b>Location</b>	<b>Date</b>
Jessica Tadros	Absecon, US	2020-07-07
Kevin Avila	Miami, US	2020-07-07
Isabella Alamilla	Nashville, US	2020-07-07
Rashawna Sinclair	Mount Vernon, US	2020-07-07
kinsley kuchar	Nederland, US	2020-07-07
aubrey wylie	Bethlehem, US	2020-07-07
Bojian Chen	Madison, US	2020-07-07
Ajayla Ford	Roanoke, US	2020-07-07
maricela romero	oxnard, US	2020-07-07
Shivani Jha	Jacksonville, US	2020-07-07
Lexi Cochran	Washington, US	2020-07-07
Abbie Hahlen	Dyersville, US	2020-07-07
jasmayne mohammad	San Antonio, US	2020-07-07
abril Avila	Garland, US	2020-07-07
Asher Ricciardi	Wellington, US	2020-07-07
yxichiz xx	Seattle, US	2020-07-07
loren bear	California, US	2020-07-07
Jennifer Gutierrez	Anaheim, US	2020-07-07
Diane Choi	Fullerton, US	2020-07-07
Zane Alires	Mesa, US	2020-07-07
Jade Schultz	Maple Shade, NJ	2020-07-07
Piper Carmack	Cincinnati, US	2020-07-07

<b>Name</b>	<b>Location</b>	<b>Date</b>
Andrelis Valenzuela	Elmwood Park, US	2020-07-07
Elizabeth ruzek	Minneapolis, US	2020-07-07
Jordan Javier	Port Orchard, US	2020-07-07
Gabrielle Hawks	Elkridge, US	2020-07-07
Sherry Dong	US	2020-07-07
Eva Crespo	Philadelphia, US	2020-07-07
Jade L	San Jose, US	2020-07-07
sarah clinger	Springdale, US	2020-07-07
Kacie Jackson	Cleveland, US	2020-07-07
sophia penman	Orangevale, US	2020-07-07
Beatrix Tam	Argyle, US	2020-07-07
Mackenzie Weems	Pleasant Hill, US	2020-07-07
Anthony Rodriguez	Bronx, US	2020-07-07
Abby Hayflinger	Wilmington, US	2020-07-07
Lola Metivier	Seattle, US	2020-07-07
Sally Meek	Rockwall, TX	2020-07-07
Eskarlet Medrano	Alexandria, US	2020-07-07
Ella Carry	Chicago, US	2020-07-07
Franklin Ramsay	Bluffton, US	2020-07-07
Vija Piris	Portland, US	2020-07-07
Hannah Baumann	Vancouver, US	2020-07-07
hannah buck	US	2020-07-07

<b>Name</b>	<b>Location</b>	<b>Date</b>
Lynn Auguste	Emmaus, US	2020-07-07
That one Girl	Harrisburg, US	2020-07-07
Marely Santos	Hicksville, US	2020-07-07
Brianne Ramirez	Irving, US	2020-07-07
Joanna Canas	Chelsea, US	2020-07-07
eva hunkins	Zanesville, US	2020-07-07
Yvonne Orsinov	US	2020-07-07
Heran Haile	Fredericksburg, US	2020-07-07
Brian Nassy	Plainfield, US	2020-07-07
Brielle Sims 	Houma, US	2020-07-07
Anna Connolly	Palmyra, US	2020-07-07
Lola Caldwell	San Carlos, US	2020-07-07
Abigail Ann Claveria	US	2020-07-07
Mary Espinal	Newark, US	2020-07-07
Emily Dunn	Denver, US	2020-07-07
Jade :>	Burbank, US	2020-07-07
Kirsten Leon	Anaheim, US	2020-07-07
Claire Kunkel	Chicago, US	2020-07-07
gabriella carrillo	Albuquerque, US	2020-07-07
Casey Liu	Pacifica, US	2020-07-07
Liam Clark	Claremont, US	2020-07-07
Caleb Pembele	Bloomington, US	2020-07-08

<b>Name</b>	<b>Location</b>	<b>Date</b>
Michelle Kim	Auburn, US	2020-07-08
Celeste Anderson	Brooklyn, US	2020-07-08
Kokichi Ouma	Millersburg, US	2020-07-08
Laura Cooper	Reno, US	2020-07-08
chloe curtis	Austin, US	2020-07-08
Valeria Guerrero	Laredo, US	2020-07-08
Arcelia Villalon	Brownsville, US	2020-07-08
Jaida Gordon	Hightstown, US	2020-07-08
Guopeng Li	Arlington, US	2020-07-08
Hanna Tharaldson	Belle Plaine, US	2020-07-08
Norah Munn	Williston, US	2020-07-08
Cynthia Sanchez	Mcallen, US	2020-07-08
Jade Johnson	Crosby, US	2020-07-08
Diya Jackson	Clarksville, US	2020-07-08
Maria Almeida	Edison, US	2020-07-08
iva koytchev	Saint Augustine, US	2020-07-08
Makale Prescott	Minneapolis, US	2020-07-08
Maddie Hemmings	Advance, US	2020-07-08
April Lahaina	Phoenix, US	2020-07-08
Bernita Johnson	Sugarland, US	2020-07-08
Jadyn Leblond	Wylie, US	2020-07-08
Karla Salinas	Goldthwaite, US	2020-07-08

<b>Name</b>	<b>Location</b>	<b>Date</b>
Chloe Poor	Forney, TX	2020-07-10
Andy Hoang	Rockwall, TX	2020-07-10
Mindy Buchanan	Heath, TX	2020-07-10
Austin Hartis	The Colony, TX	2020-07-11
Cheryl Tunnell	Rockwall, TX	2020-07-12
Ahlana Gibbs	Nashville, US	2020-07-13
Alissa Cimmino	Salem, US	2020-07-13
Joshua Hines	Highlands, US	2020-07-13
Markia Walker	Blytheville, US	2020-07-13
Madeline Johnson	Watertown, US	2020-07-13
Phanise Morancy	Fort Lauderdale, US	2020-07-13
Sedona Harding	Brazil, US	2020-07-13
giselle gipp	Alexandria, US	2020-07-13
Adrianna 來	Sayville, US	2020-07-13
charisse dagondon	Everett, US	2020-07-13
Erika Dagel	Billings, US	2020-07-13
Brett Myers	Quarryville, US	2020-07-13
Jennifer Lopez	Los Angeles, US	2020-07-13
Ni Fear	Dallas, US	2020-07-13
Jessie Nagler	Holtsville, US	2020-07-13
Eunice Mendez	South Ozone Park, US	2020-07-13
Carlos Mendoza	Oxnard, US	2020-07-13

<b>Name</b>	<b>Location</b>	<b>Date</b>
Chanell Sam	Gallup, US	2020-07-13
natasha fisher	Elkridge, US	2020-07-13
regine Francois	Miami, US	2020-07-14
Quanasia McQuillia	Portsmouth, VA	2020-07-14
Victoria Lopez	Houston, US	2020-07-14
nora qt	New York city, US	2020-07-14
Sophia Shyam	San Francisco, US	2020-07-14
Isabella E	Dracut, US	2020-07-14
Edgerrin Harper	Madison, US	2020-07-14
Terrence Clay	Houston, US	2020-07-14
Christopher Sawchuk	Peabody, US	2020-07-14
Melinee Smith	McDonough, US	2020-07-14
E C	Palo Alto, US	2020-07-14
Ella Borgart	Phoenixz, US	2020-07-14
Genizim Lalramlian	Seattle, US	2020-07-14
Ella-Blue Jones	Peachtree city, US	2020-07-14
Ellie Guilford	Spring Lake, US	2020-07-14
Antony Wannappa	Pasadena, US	2020-07-14
Ashia Dorsey	Frisco, US	2020-07-14
Kayleigh Cullen	Lindenhurst, US	2020-07-14
Jill booth	Sacramento, US	2020-07-14
Luna Castillo	New York, US	2020-07-14

<b>Name</b>	<b>Location</b>	<b>Date</b>
Harshid P.	Chantilly, US	2020-07-14
Fereshteh A	Los Angeles, US	2020-07-15
Shannon Sadowski	Southington, US	2020-07-15
Marissa Huddle	Hobe Sound, US	2020-07-15
Logan Stockner	Fancy Gap, US	2020-07-15
Dena Watts	US	2020-07-15
caitlin walker	Waynesboro, US	2020-07-15
Mirian Lambert	Ashcamp, US	2020-07-15
Taylor Desouza	Midwest City, US	2020-07-15
Rayven Kozlik	Citrus springs, US	2020-07-15
Jeffrey Swift	Carmichaels, US	2020-07-15
Kevin Brown	Columbia, US	2020-07-15
Davis Riley	Mount Pleasant, US	2020-07-15
Kerem Pauwels	Newton Center, US	2020-07-15
Clarice Smith	Alpharetta, US	2020-07-15
Kathia Mosqueda	San Jose, US	2020-07-15
Petrina Lewis	Rockwall, TX	2020-07-15
evan alonzo	Chicago, US	2020-07-16
Z'kaila Holland	Mamou, US	2020-07-16
Arianna Saragena	Sedro Woolley, US	2020-07-16
April Carty	Madisonville, US	2020-07-16
Tomi Daly	Darlington, US	2020-07-16

<b>Name</b>	<b>Location</b>	<b>Date</b>
Adiva Rida	Atlanta, US	2020-07-16
Whitney Johnson	Oklahoma City, OK	2020-07-16
Nichelle Wallace	Rockwall, TX	2020-07-17
Leah Nulisch	Rockwall, TX	2020-07-23
Lauren Lopez	Kyle, US	2020-07-24
Lakisha Moore	Rockwall, TX	2020-07-25
Kevin Hopper	Rockwall, TX	2020-07-28

# Example of Plaque Offered

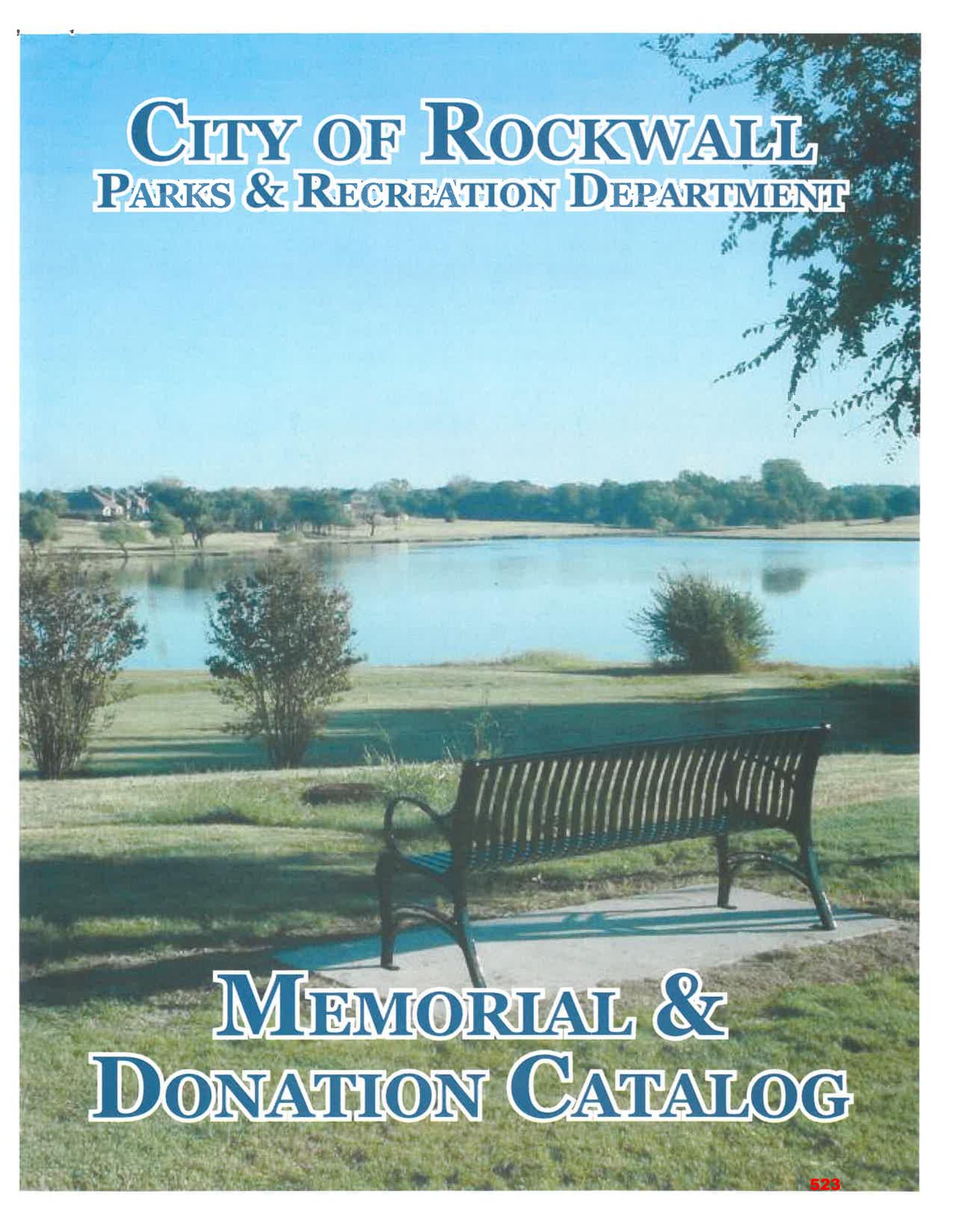


**BARB COLESON**  
1937-2017

*A true leader and friend of Rockwall*  
With sincere appreciation for her decades  
of unselfish service, leadership and  
unwavering desire to establish a community  
of arts and culture.

Barb was an avid volunteer with countless  
organizations, including Friends of  
Downtown, Main Street, Rockwall Farmer's  
Market, Rockwall Summer Musicals, Friends  
of the Library, Children's Advocacy Center,  
Rockwall Women's League and the Rockwall  
Education Foundation.

Through her service, Barb led by example  
and has made Rockwall a better place to  
live, work and play.

A scenic view of a park with a lake, trees, and a bench in the foreground. The sky is clear blue, and the water is calm. In the distance, there are houses and more trees. A black metal bench is in the foreground, facing the lake.

# CITY OF ROCKWALL PARKS & RECREATION DEPARTMENT

## MEMORIAL & DONATION CATALOG

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## MEMORIAL AND DONATION PROGRAM PURPOSE

This policy establishes guidelines, standards and procedures for the installation and care of donated park improvements, as a result of cash or physical property donations. The policy does not apply to buildings or land. The City desires to encourage donations while managing the aesthetic impacts and mitigate ongoing maintenance costs.

The development of public facilities is expected to be the result of careful planning and quality construction. The memorial and donation review process is provided to encourage contributions to public parks, trails and cemeteries that:

- Cover the total cost of the project and installation
- Are sensitive to all park users and neighboring communities
- Are sensitive to the design standards adopted by the city and the Parks and Recreation Department
- Are sensitive to the long-term cost and maintenance of the donated amenity

Guidelines established by this policy will apply to all donations made after the adoption of this policy. The purpose of this section is to provide guidelines for individuals or groups should they desire to decorate, landscape or adorn a donation such as a tree, bench or picnic table on city property.

## STANDARDS FOR NEW DONATIONS

**Definition of New Donation:** New donations are those made after the adoption of this policy's effective date.

**Acquisition or Purchase:** The city and the community have an interest in ensuring the best appearance and quality of their public facilities. Park amenities and their donation acknowledgements (i.e. plaques) should reflect the character of the parks and the community. The city staff will be responsible for the purchase and installation of all park elements. The Parks and Recreation Director may approve specific group or civic projects such as Eagle Scout or Rotary Club projects to be performed under the guidance and supervision of the parks and recreation to ensure consistency with the donation guidelines and park standards.

**Appearance and Aesthetics:** All park amenities shall be installed in such a manner that will not substantially change the character of a facility or its intended use. Decoration, ornamentation, and adornment of donated elements can interfere with routine maintenance and appearance of the donated item. These adornments could also compromise the safety of other park users or wildlife. Nothing shall be hung or tied to trees. Due to the possibility of being trampled; inability to maintain or lack of irrigation; landscaping around site furniture shall not be permitted without written permission of the Parks and Recreation Manager. Placing wreaths, flowers, etc. at memorial sites will not be permitted without special permission from the Director of Parks and Recreation, and will be limited to specific community ceremonies or events.

**Maintenance:** Donated Park elements and/or their associated donation acknowledgements, become City property. The city has the responsibility to maintain the donated amenity only for the expected life cycle of the donation. If the current information is available, the donor may be informed and given the opportunity to take further action at the expiration of the original life cycle.

**Repair:** The city has the responsibility to maintain the donations subject to availability of current funds and resources. Selection of donated items shall take into consideration short and long-term costs of the amenity. Repair parts and materials must be readily available. Donated items must be of high quality to ensure a long life, be resistant to the elements, wear and tear and vandalism.

**Cost:** The City has an interest that the donor covers the full-cost for the purchase and installation of any donated amenity. If the foreseeable maintenance of the amenity throughout its life cycle has a negative impact on the maintenance resources of the City, the City may ask that sufficient funds for on-going maintenance are included in the donation.

## PROCEDURE FOR MAKING A DONATION

**Application:** The prospective donor must contact the Parks and Recreation Administration office to discuss whether a donation may be accepted based upon criteria contained in this policy. Applications are available at the Parks and Recreation offices or on the City website. Completed applications and payments should be turned into the Parks and Recreation offices.

## CRITERIA FOR ACCEPTANCE

**Donation Plan:** A prospective donor shall present their proposal to the Parks and Recreation Manager. Plans to donate funds for a specific park or facility amenity or program will be evaluated based on the following criteria: 1) meets a true need of the park, facility or program, 2) does not interfere with the intended current or future use of the facility 3) meets our current design and amenity standards and 4) does not require relocation of other equipment or infrastructure to accommodate the donation. The City may determine that the park or facility is fully developed and the opportunity for donations are not available.

**Donation Acknowledgements/Memorial Plaques:** Donation acknowledgements and memorial plaques size, type and verbiage must be approved by the Parks and Recreation Manager. Plaques must be permanently affixed to the donated item. Site furniture donations (i.e. benches, tables, trash cans etc) shall use a 3"x 9" cast aluminum plaque as provided by the manufacturer. For other amenity donations acknowledgements, plaques shall be no larger than 5" x 10" unless otherwise approved by the Parks and Recreation Manager.

**Notification:** It shall be the responsibility of the donor to provide the Parks and Recreation Administration office with a current address for the purposes of informing the donor, via letter, of the status of their donation request (i.e. acceptance, need to remove, repair, relocate or otherwise comply with the conditions in this policy).

**Conditions:** Installation of the donated park elements will be completed by City personnel, unless other wise agreed upon by the Parks and Recreation Manager and the donor. The City may approve a group installation project under the supervision of Parks Department personnel. The installation in either case will be scheduled by Parks Department personnel so as not to unnecessarily interfere with routine park maintenance activities.

**Removal and/or relocation:** This section applies to both existing and new donations. The City reserves the right to remove and/or relocate donated park elements and their associated plaques, when they interfere with site safety, maintenance or construction activities. This City will send a registered letter, in accordance with the above stated procedures, notifying the donor of any action taken related to the status change of the donated amenity. In certain unusual situations where the donated amenity must be removed in a safety or emergency situation, the notification may take place after the action is taken. In the event that an amenity must be permanently removed, the City will seek an alternate location.

**Costs:** The attached pages intended to include the cost of the amenity with shipping and the cost of the installation. Price ranges and pictures are approximate and may be subject to change due to possible increase of the item's actual cost and the potential increase in construction materials.

## PURCHASE INFORMATION

Please contact the City of Rockwall Parks & Recreation Department to purchase a memorial item or make a donation. Donations can be made in the form of Cash, Check or Credit Card. Checks can be made payable to The City of Rockwall.



**6' PARK BENCH WITH CONCRETE PAD  
\$1,000**



**PARK GRILL  
\$500-\$1,000**



**FABRIC SHADE STRUCTURE  
\$14,000**



**DRINKING FOUNTAIN  
\$2,950**



**PICNIC TABLE WITH NO CEMENT PAD  
\$1,850**



**TRASH RECEPTACLES  
\$700**



**PLANTER POTS  
\$600**

**PARK AMENITIES**



**HORSESHOE PIT**  
**\$250**



**BIKE RACKS**  
**\$200-\$500**



**DOG WASTE STATIONS**  
**\$500**



**BASKETBALL GOAL**  
**\$3,000**

**TRAIL MARKER & WAY FINDER SIGNS**  
**\$750-\$2,500**



**PARK AMENITIES**



**ALUMINUM BLEACHERS**  
**\$4,000-\$6,000**



**PARK PAVILION**  
**\$50,000-\$60,000**



**INFORMATIONAL KIOSK**  
**\$500-\$5000**



**12x12 PICNIC SHELTER**  
**\$20,000**



**SCOREBOARD**  
**\$10,000**

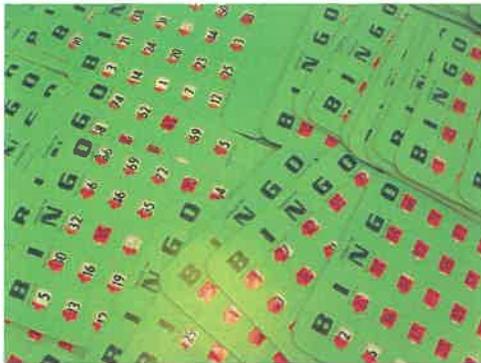
**PARK STRUCTURES**



**BASKETBALLS & VOLLEYBALLS  
\$100**



**TOTALLY REC'D SUMMER SUPPLIES  
\$200**



**SENIOR PROGRAM SUPPLIES  
\$250**



**RECREATION PROGRAM SUPPLIES  
\$250**



**CAMP SPONSORSHIP  
\$150**



**10x10 SPECIAL EVENT TENT  
\$250**



**SENIOR LUNCHEON SPONSORSHIP  
\$250**



**DUGOUT BENCH  
\$350**

**PROGRAM SUPPLIES**



**2 BAY SWINGS**  
**\$2,750-\$5,000**

**4 SEAT TEETER TOTTER**  
**\$2,000**



**SLIDE**  
**\$6,000**

**PLAYGROUND EQUIPMENT**

**AQUATIC PROGRAM SUPPLIES**



**RESCUE TUBE  
\$50**



**GUARD STAND  
\$2,500**



**BACK BOARD  
\$450**



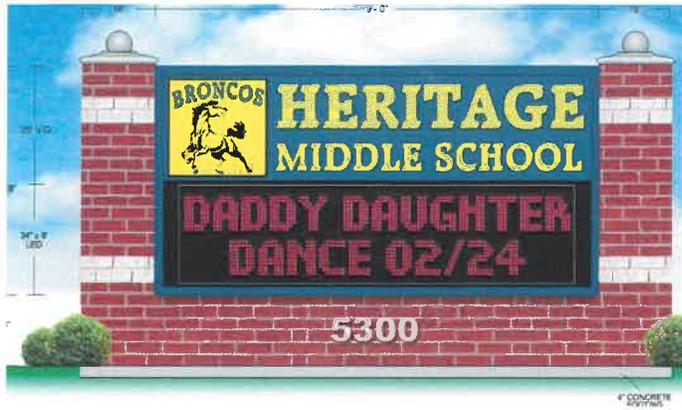
**SWIM TEAM SUPPLIES  
\$150**



**LEARN TO SWIM SUPPLIES  
\$150**

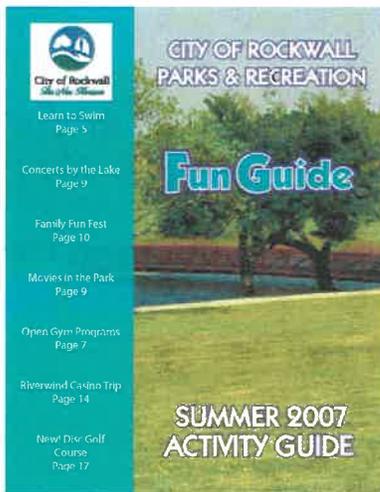


**POOL LANE LINES  
\$400**



**DIGITAL MESSAGE CENTER**  
**\$25,000**

**4x4 UTILITY VEHICLE**  
**\$8,500**



**FUNGUIDE PRINTING**  
**\$6,000**



**MEMORIAL PLAQUES**  
**\$250-\$1,000**

**SPECIAL EVENT DONATIONS**  
**\$100-\$10,000**



**MISCELLANEOUS**



CITY OF ROCKWALL  
PARKS & RECREATION DEPARTMENT  
385 S. GOLIAD  
ROCKWALL, TEXAS 75087  
972/771-7761 - PHONE  
972/771-7762 - FAX



## MEMORANDUM

---

**TO:** Rick Crowley, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** December 21, 2020

**SUBJECT:** MIS2020-016; VARIANCE TO THE ALCOHOL PROXIMITY REQUIREMENTS FOR 1541 E. IH-30

---

### Attachments

Case Memo  
Development Application  
Location Map  
Distance Requirements Map  
Picture of Subject Property  
Letter from Church  
Applicant's Letter  
TABC Application  
TABC License  
Survey  
Concept Plan

### Summary/Background Information

Discuss and consider a request by Charles Smith of Pentagon on behalf of Dynacap Holdings Limited for the approval of a Miscellaneous Request for a variance to the proximity requirements for the sale of alcoholic beverages stipulated by the Unified Development Code (UDC) for a 2.202-acre tract of land identified as Tract 12 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH30 Overlay (IH-30 OV) District, addressed as 1541 E. IH-30, and take any action necessary.

### Action Needed

The City Council is being asked to [1] approve, [2] approve with conditions, or [3] deny the variance request.



**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**CC:** Rick Crowley, *City Manager*  
Mary Smith, *Assistant City Manager*  
Joey Boyd, *Assistant City Manager*  
**FROM:** Ryan Miller, Director of Planning and Zoning  
**DATE:** December 21, 2020  
**SUBJECT:** MIS2020-016; *Variance to the Alcohol Proximity Requirements for 1541 E. IH-30*

---

Addendum for December 21, 2020: On December 7, 2020, the City Council approved a motion to table Case No. MIS2020-016 to the December 21, 2020 City Council meeting by a vote of 6-0, with Council Member Campbell absent. The purpose of this motion was to allow the applicant time to obtain a letter from the adjacent church (i.e. Landmark Fellowship Church) concerning the proposal to establish a winery on the subject property. The applicant has provided staff with a copy of this letter, which has been included in the attached packet for the City Council's review.

Original Case Memo for December 7, 2020: The applicant, Charlie Smith, is requesting a variance to the distance regulations for the sale of alcoholic beverages by a retail establishment for off-premise consumption to allow a winery directly adjacent to a church. The subject property is a 2.202-acre tract of land (i.e. *Tract 12 of the A. Hanna Survey, Abstract No. 99*) fronting on to IH-30, zoned Light Industrial (LI) District, that is addressed as 1541 & 1545 E. IH-30. Situated on the subject property are two (2) existing buildings that are oriented in an 'L' shape, are between six (6) and 12-feet apart, and that are connected by a fence. Currently, a church (i.e. *Landmark Fellowship Church*) is situated in the building that runs parallel to IH-30 (i.e. *1545 E. IH-30*), and the proposed winery will be situated in the building that runs perpendicular to IH-30 (i.e. *1541 E. IH-30*). According to the Rockwall Central Appraisal District (RCAD), both buildings were constructed in 1986 with the church being ~3,160 SF and the currently vacant building being 2,550 SF.

In accordance with the *Texas Alcoholic Beverage Code*, the City of Rockwall has adopted distance requirements that stipulate a minimum separation between businesses that sell alcohol -- *for on-site or off-site consumption* -- and schools, churches, and hospitals. Section 03.05, *Alcoholic Beverage Sales*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) states the following (*with pertinent information underlined*):

(B) *Retail Establishments with Alcoholic Beverage Sales.*

- (1) *Retail establishments may sell beer and wine for off-premises consumption by right if they are located on property that was within the city limits as of November 14, 2007, and are located in a zoning district allowing such use. Retail establishments located on property that was annexed after November 14, 2007, may not engage in the selling of beer and wine for off-premises consumption.*
- (2) *Retail establishments engaged in the selling of beer and wine to the general public for off-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and must be located not less than 300 feet from a church, public school, private school (as defined by the Texas Alcoholic Beverage Code) or public hospital. For a church or public hospital, the 300 feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools or private schools, the measurement of distance shall be in direct line from the property line of the public school to the property line of the retail establishment and in a direct line across intersections. If the permit or license holder is located on or above the fifth story of a multistory building, the measurement shall be in a direct line from the property line of the public or private school to the property line of the place of business, in a direct line across intersections, and vertically up the building at the property line to the base of the floor on which the permit or license holder is located.*

The City Council may grant a variance to the distance regulations if the City Council determines that enforcement of those regulations in a particular instance is not in the best interest of the public, constitutes waste of inefficient use of land or other resources, creates an undue hardship on an applicant for a license or permit, does not serve its intended purpose, is not effective or necessary, or for any other reason the City Council, after consideration of the health, safety, and welfare of the public and the equities of the situation, determines is in the best interest of the community.

In this case, the applicant has provided an exhibit showing that the winery's front entrance will be on the eastside of the vacant building, facing towards an existing swimming pool (*i.e. not visible from IH-30*). Based on this location, the applicant will be required to construct an accessible route up against the building, leading from the entrance of the winery to the parking areas, and based on this accessible route the distance from the front door of the church to the front door of the winery would be 248-feet. Since this is less than the required 300-foot distance stipulated by the Unified Development Code (UDC), the applicant has approached staff requesting to apply for a variance. Staff should note that in the applicant's letter, the applicant describes a measurement process that would take the pedestrian to the right-of-way prior to reaching the front door of the church; however, this measurement process is only applied for buildings on separate lots/properties, and as stated previously these buildings are on the same property. Staff should also point out, that the lot cannot be subdivided in its current configuration.

In reviewing this request, staff should note that the existing church appears to be under parked, and that the applicant has not indicated any additional parking will be provided for the winery. Currently, there are eight (8) parking spaces on the site to serve both buildings. If this request is approved by the City Council, the parking issue will need to be addressed prior to the issuance of a Certificate of Occupancy (CO) for the winery. With all of this being said, any request for a variance to the distance requirements for alcohol sales stipulated by the Unified Development Code (UDC) is a discretionary decision for the City Council. Should the City Council have any questions, staff will be available at the meeting on December 7, 2020.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. M152020-016

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1541 E Interstate 30

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location between John King & SH205 on North side of I30

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial

Current Use Office

Proposed Zoning no change

Proposed Use Winery

Acreage 1.5 acres Lots [Current] — Lots [Proposed] —

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Dynacap Holdings Limited

Applicant Pentagon

Contact Person Charles Smith

Contact Person Charles Smith

Address 611 E Boydston

Address 611 E Boydston

City, State & Zip Rockwall Texas 75087

City, State & Zip Rockwall Texas 75087

Phone 214 212 2307

Phone 214 212 2307

E-Mail charlie@ck2advisors.com

E-Mail \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Charles Smith [Owner] the undersigned, who stated the information on this application to be true and certified the following:

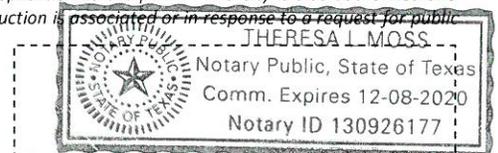
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 12 day of November, 2020.

Owner's Signature

[Signature]  
Jhresa L. Moss

Notary Public in and for the State of Texas



My Commission Expires 12.8.2020

0 50 100 200 300 400 Feet

MIS2020-016- SPECIAL EXCEPTION FOR A VINEYARD  
MISCELLANEOUS - LOCATION MAP = 

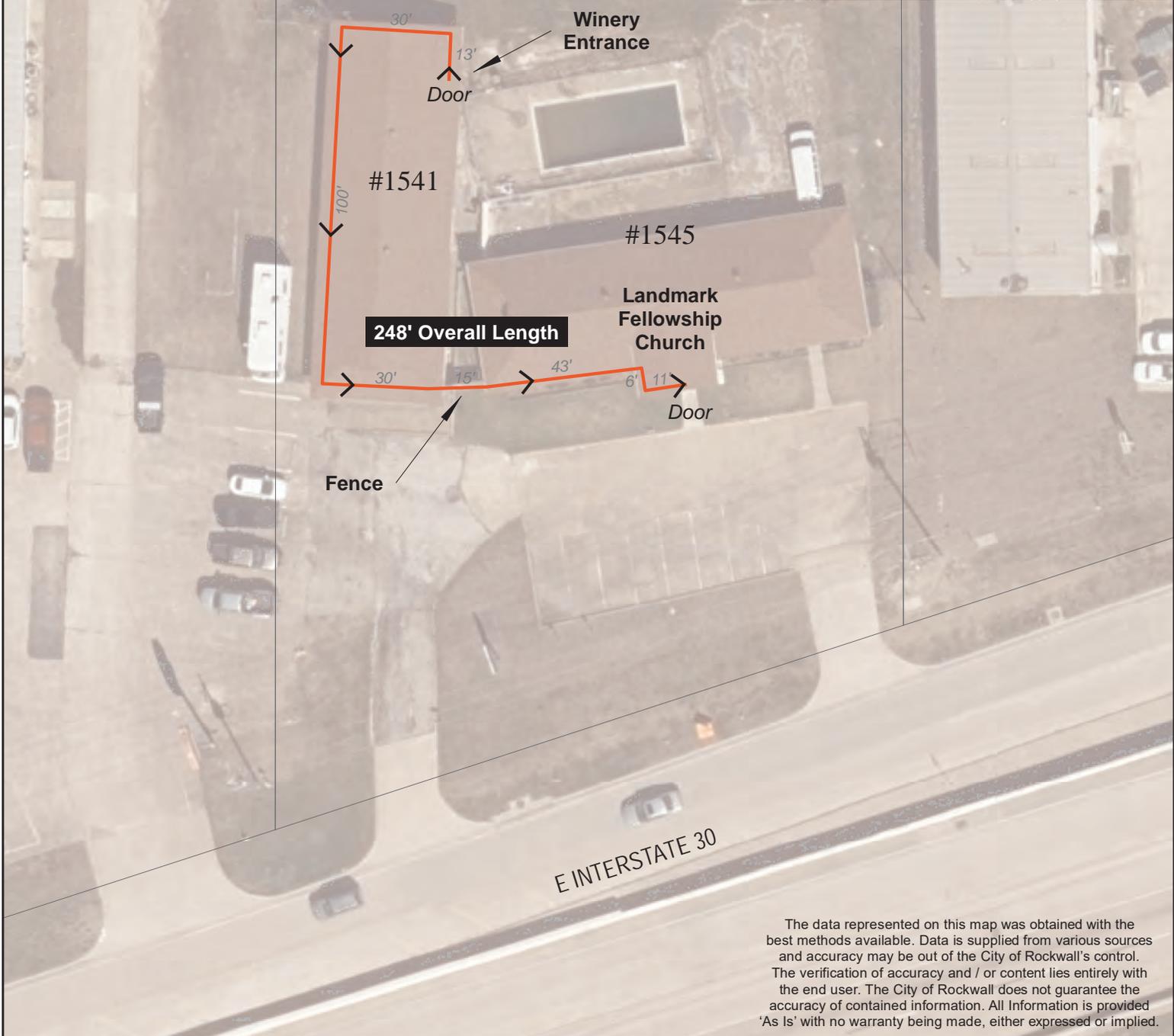
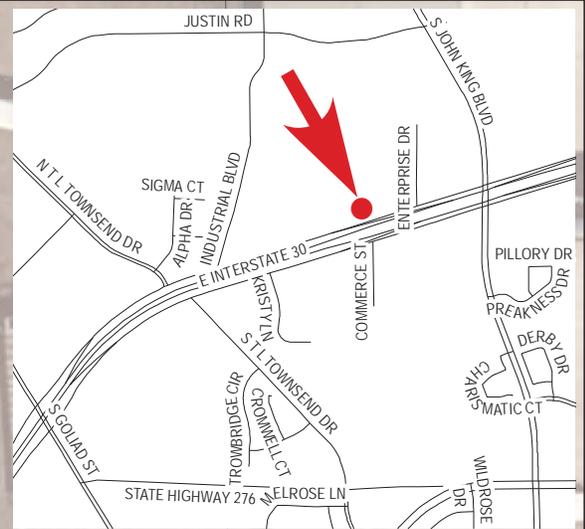


## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

LANDMARK  
EQUINE CARE

LANDMARK  
EQUINE CARE

©2020 Google

©2020 Google

541

# LANDMARK FELLOWSHIP

December 9, 2020

Rockwall City Council  
Rockwall City Hall  
385 South Goliad  
Rockwall, Texas 75087

Ladies and Gentlemen of the Rockwall City Council,

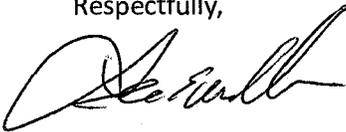
I am the Pastor of Landmark Fellowship Church at 1545 E Interstate 30 in Rockwall. The Church has leased the location from Dynacap Holdings / Charles Smith since late in 2012.

Mr. Smith came to me a couple months ago and said he was thinking of opening a winery in the back section of his property and asked if I had a problem with him doing that. I stated that I did not have a problem with it although I personally do not drink alcohol.

Mr. Smith has been a big supporter of our Church, particularly as we were finishing out the building to prepare to open the Church at that location. We have had a smooth relationship which is far more than a tenant / landlord relationship and I would expect that the same mutual respect and relationship would continue as he prepares to open his winery.

Again, I support him in his business endeavors and wish him well in this next venture. Another positive is that the Church won't have to go far to get its communion wine!!

Respectfully,



Lee Wells, Pastor  
Landmark Fellowship Church

**From: Charles Smith**

**To: Planning & Zoning**

Dear Sir,

Please find attached my development application for 1541 E Interstate 30, Rockwall, Texas 75087. It is on the north side of Interstate 30 between SH 205 and John King.

My application is to put in a winery – class (G) license with the TABC. I have that license already and would like to move it to the property I own in Rockwall. I have had an office at this location since I bought the property in 2004.

In the building next door there is a church. I have measured front door of the church to the entrance to the winery and I present this map with the distances. The front door of 1541 building is only for storage and does not have access through the building to the section at the back where the winery would be. To access the winery, one would need to go down the side of the building around the back to the door of the winery.

Methodology:

I started at the front door of the church and walked directly to the imaginary sidewalk (since there is no sidewalk), then parallel to the property line to the point at which I would turn to go in a straight line down the road leading to the back where the winery entrance is, then around the building to the door. The diagram show this.

Notes:

The church does not have access to the back of the property although they have an emergency exit door on the back of their building. Their only access (besides emergencies) is the front door.

I talked to the pastor of the church as I was thinking of this application and asked him if he had a problem with me opening a winery backing up to the church. He said I had been so good to him all the time he has been there and he did not have a problem with it. You can call Pastor Lee Wells at 903-453-4191 or I can get a letter from him.

We do not plan to be open on Sundays at all.

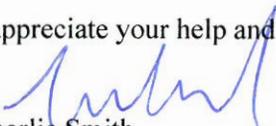
Our activities will be those allowed under our (G) license from the TABC which:

Allows holder to:

- Manufacture, bottle, label and package wine containing 24% alcohol by volume or less.
- Sell or buy wine from permittees authorized to purchase and sell wine, including wholesalers, winery and wine bottler's permittees.
- Sell wine to ultimate consumers for consumption on the winery premises or in unbroken packages for off-premise consumption.
- Dispense free wine for consumption on the winery premises.

We will also serve some limited food which is also allowed under our permit with the TABC.

I appreciate your help and call me at 214-212-2307 if you have any questions or need to speak with me.

  
Charlie Smith  
214-212-2307  
[charlie@ck2advisors.com](mailto:charlie@ck2advisors.com)



**CITY OF ROCKWALL  
LOCAL ALCOHOL BEVERAGE PERMIT  
APPLICATION & CERTIFICATION**

Revised 01/05/18

**Date:** 11/12/2020

**Applicant's Name:** Charles Smith

**Trade Name of Location:** Pentagon

**Location Address:**  
Street #, Name, City, State, Zip 1541 E Interstate 30 Rockwall Texas 75087

**Mailing Address:**  
Street #, Name, City, State, Zip Same

**Applicant's Phone:** (214) 212 2307      **Email:** charlie@ckzadvisors.com

**TABC Permit Type(s) Applying For:** I already have a (G) license - Want to move to my property

**This is a(n):**     Original Application     Renewal

*Note: Local permits are renewed every two years with proof of State issued license. You **must** submit a copy of your TABC license with payment (if applicable). The locally issued permit must be displayed on-site at the business location, alongside the state license/permit.*

\*The Below SECTION TO BE FILLED OUT BY City STAFF ONLY\*

**CRITERIA FOR APPROVAL**

Was the property annexed prior to November 14, 2007?

Yes     No      **If no, city staff will need to consult with the applicant.**

Is the property located in an area zoned for the requested permit?

Yes     No      **Zoning Designation:**

**APPLICATION IS FILED FOR (check either #1 or #2):**

**1. The legal sale of beer and wine for off-premise consumption only.**

The requested permit appears to be located within the following area(s):

- 300 feet of a religious institution (measured front door to front door)       Yes     No
- 300 feet of a public hospital (measured front door to front door)       Yes     No
- 300 feet of a public or private school (measured property line to property line)       Yes     No

**2. The following distance requirements apply to holders of a *Mixed Beverage Restaurant (with FB certificate), Winery (G) & Wine & Beer (BG) permits:***

The requested permit appears to be located within the following area(s):

- 300 feet of a religious institution (measured front door to front door)       Yes     No
- 300 feet of a public hospital (measured front door to front door)       Yes     No
- 300 feet of a public school (measured property line to property line)       Yes     No

<b><u>Zoning and distance verification / approval (Planning Dept.):</u></b>	
Printed Name: _____	Date: _____
Signature: _____	
<b>City Secretary's Office:</b>	
<input type="checkbox"/> Approved _____	<input type="checkbox"/> Denied* _____
<input type="checkbox"/> Fees Paid: _____	Check No. _____ Date: _____

\*If permit is denied due to non-compliance with distance requirements, applicant may seek approval of a variance from City Council

TEXAS ALCOHOLIC BEVERAGE COMMISSION  
P.O. BOX 13127      Seq: 0128  
AUSTIN, TX 78711-3127



TEXAS ALCOHOLIC  
BEVERAGE COMMISSION  
*Texas Helping Businesses & Protecting Communities*



WINERY GROUP INC.  
1541 E INTERSTATE 30  
ROCKWALL TX 75087-6248

Dear Licensee/Permittee

As a citizen of the State of Texas and as part of the industry we regulate, we value your comments. Your impressions concerning the fairness and appropriateness of the actions taken by the agency and its employees are vital to the success of the Commission.

Complete this brief and strictly confidential questionnaire and allow your voice to be heard. You are a very important customer to us.

<https://www.surveymonkey.com/r/H5625RT>

Sincerely,

A. Bentley Nettles

**Please detach and display your license/permit in a conspicuous place at all times on the licensed premise.**

686403

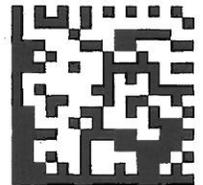
TEXAS ALCOHOLIC BEVERAGE COMMISSION

G 1094373

EXPIRES 07/27/2022

NEW

WINERY PERMIT



WINERY GROUP INC.  
982 COUNTY ROAD 979 STE 200  
ROYSE CITY COLLIN

WINERY GROUP INC.

  
EXECUTIVE DIRECTOR

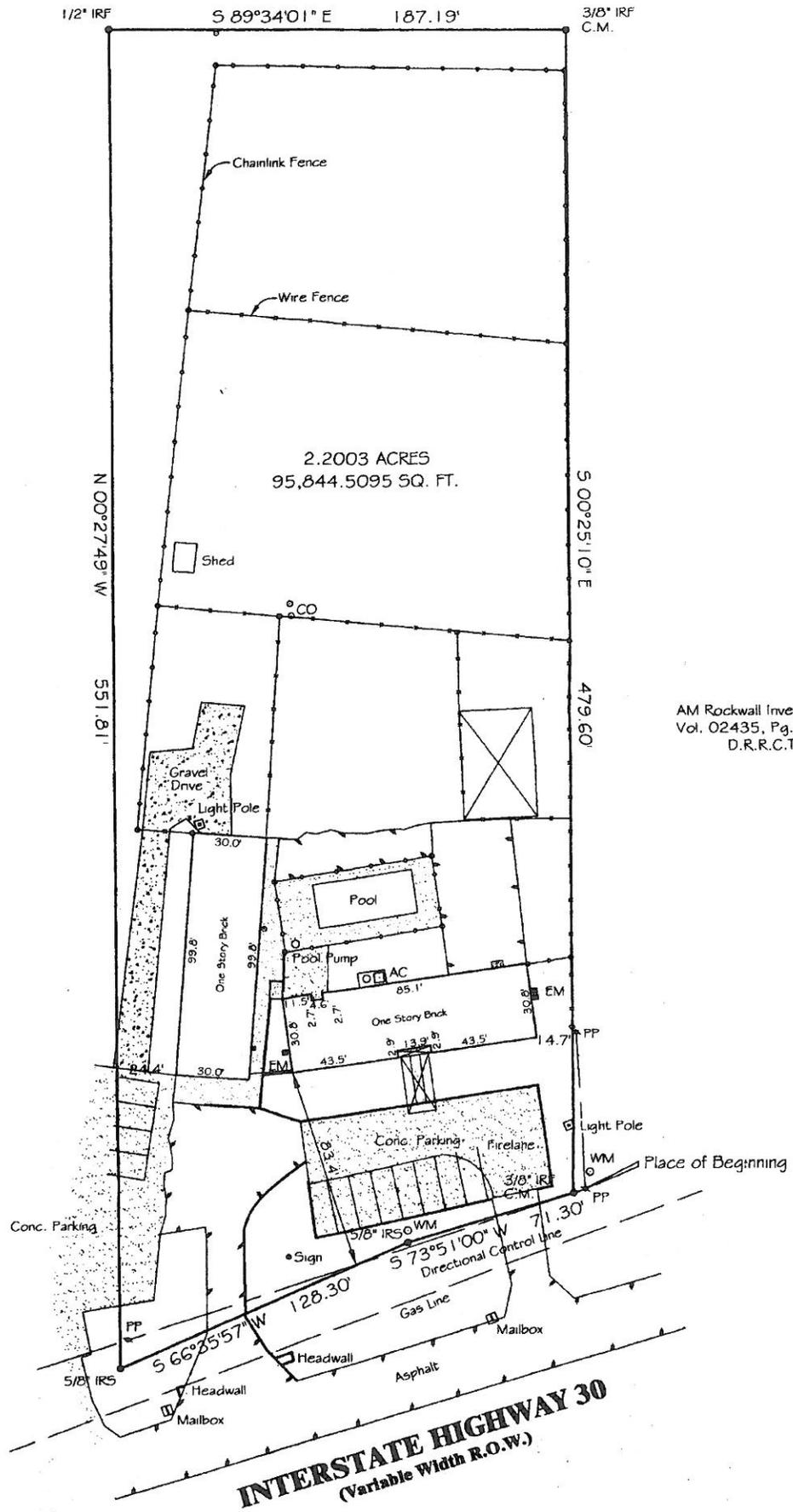
THIS PERMIT IS NOT TRANSFERABLE. MUST BE PUBLICLY DISPLAYED AT ALL TIMES AND USED ONLY IN THE PLACE OF BUSINESS INDICATED HEREON. THE ACCEPTANCE HEREOF CONSTITUTES AN EXPRESS AGREEMENT TO PERMIT ANY AUTHORIZED REPRESENTATIVE OF THE COMMISSION OR ANY PEACE OFFICER TO FREELY ENTER UPON PERMITTEE'S PREMISES TO PERFORM ANY DUTY IMPOSED UPON HIM.

Burl Swafford  
D.R.R.C.T.

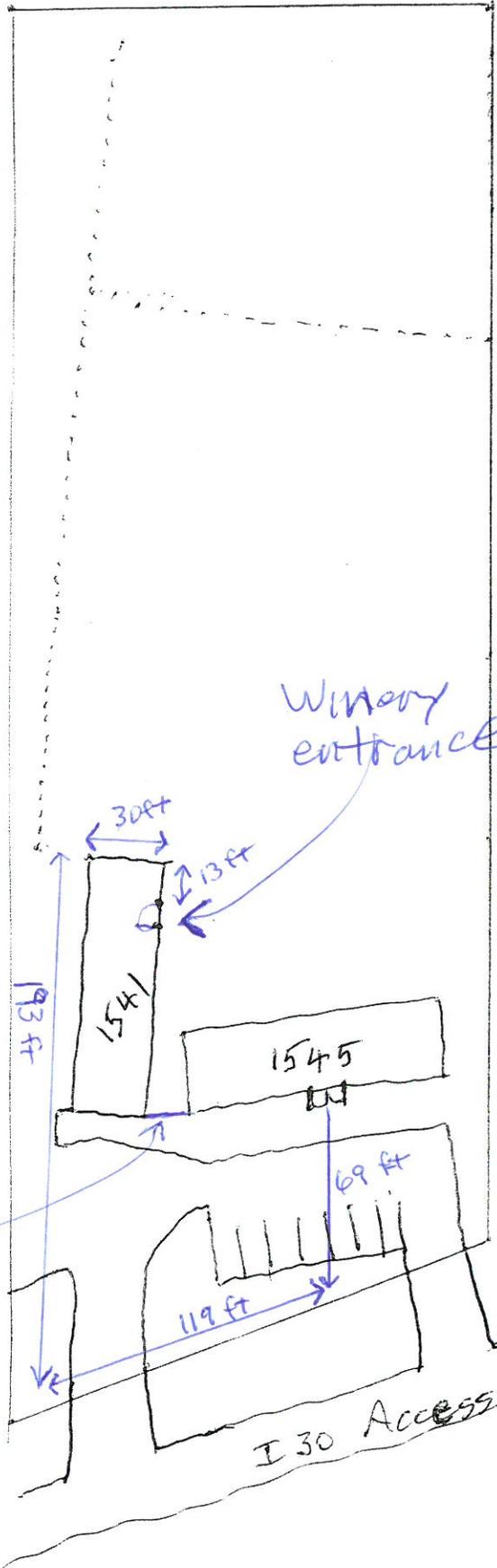


Coker Floor Company  
Vol. 03327, Pg. 00018  
D.R.R.C.T.

AM Rockwall Investments  
Vol. 02435, Pg. 00052  
D.R.R.C.T.



EMERGENCY  
USE ONLY



Winery  
entrance

# ft
13
20
193
119
69
<hr/>
Total 424 ft



City of Rockwall  
*The New Horizon*

## MEMORANDUM

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**TO:** Mayor and City Council  
**CC:** Max Geron, Chief of Police  
**FROM:** Rick Crowley, City Manager  
**DATE:** December 21, 2020  
**SUBJECT:** Agenda Item - Rockwall Police Department Strategic Plan

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Chief Geron will present the proposed Police Department Strategic Plan. The plan has been prepared with input from various levels within the department.

The first document entitled Council Level Overview was prepared to focus more broadly on strategies after receiving input from Councilmember Hohenshelt. The following pages provide a much more specific listing of identified departmental needs and is more designed for internal departmental use and reference.

It should be noted that, as with other departmental plans, target dates, and schedules are included. As is also the case with all departments, the dates and schedules are subject to budget constraints, budget approvals, and resource availability. Dates and schedules often have to be moved further into the future based on these constraints. Nothing in any of the strategic plans bind the Council or the City in advance of any budget decisions.

**Council Level Overview**  
**Rockwall Police Department Strategic Plan**

<b>GOAL 1: Protect Rockwall</b>
Enhance crime fighting through intelligence and evidence based efforts
<b>Goal 2: Grow with Rockwall</b>
Provide suitable staffing levels and hire the most qualified personnel to accomplish objectives
<b>Goal 3: Engage Rockwall</b>
Increase engagement opportunities throughout our community and organization
<b>Goal 4: Modernize Technology</b>
Improve use of and access to technology
<b>Goal 5: Enrich Training</b>
Expand training and mentoring opportunities for all personnel in the organization
<b>Goal 6: Protect Workforce Wellbeing</b>
Enact measures and programs to improve employee health and wellness

# Rockwall Police Department Strategic Plan

## Department Level Tasks and Objectives

### GOAL 1: Protect Rockwall

Initiative: Reduce Crime & Increase Safety

	Milestone 2020-2021	Milestone 2021-2022	Milestone 2022-2023	Entity Lead	Progress Update April 2021
<b>1. Enhance Crime Analysis</b>	Increase analysis to regularly identify hotspots and provide actionable intel to officers	Evaluate tactics and redeploy assets to address, incorporated added technology.  Make recommendation to add Senior Crime Analyst position	Incorporate additional technologies and evaluate results  Redeploy critical assets to address trends	<b>PATROL</b>	
<b>2. Improve Bait Vehicle Program</b>	Upgrade and modernize bait equipment  Incorporate crime analysis to increase BMV and Auto Theft Arrests	Evaluate Successes and improve targeted deployment  Explore collaboration with state auto theft task force	Explore expansion of bait vehicle program with LEO partners	<b>PATROL</b>	
<b>3. Enhance Juvenile &amp; Related Investigations</b>	Review processes and case assignments to move toward specialization	Make recommendation to add dedicated Juvenile Detective position	Refine processes and duties to improve investigative follow up	<b>CID</b>	
<b>4. Enhance Traffic Safety</b>	Increase communications on traffic projects  Targeted education and enforcement including Traffic personnel attendance at community meetings to reinforce safety	Targeted messaging in business corridor about construction changes  Address topic in Business Police Academy and on PW&T in business corridor	Increase DWI awareness and no-refusal enforcement	<b>TRAFFIC &amp; PATROL</b>	

**Goal 2: Grow with Rockwall**

Initiative: Increase Staffing

	Milestone 2020-2021	Milestone 2021-2022	Milestone 2022-2023	Entity Lead	Progress Update April 2021
1. Fill/Add vacant sworn positions	Increase pool of highly qualified applicants	<p>Make recommendation to add Patrol Lieutenant position</p> <p>Make recommendation to add 2 additional general detectives to CID</p> <p>Make recommendation to add training coordinator position (rank TBD)</p> <p>Make recommendation to add dedicated Cyber Crimes Detective position in CID</p>	<p>Make recommendation to add 1 Captain position</p> <p>Make recommendation to add 1 additional general detective to CID</p>	ADMIN	
2. Fill/Add vacant civilian positions	Increase pool of highly qualified applicants	<p>Make recommendation to add Communications Manager position</p> <p>Make recommendation to add Senior Crime Analyst position</p>	Identify needs for additional civilian positions and fill those needs	ADMIN	
3. Provide sufficient workspace for employees	Advise city management on space requirements and make recommendations to accommodate growth.	Identify and recommend solutions to accommodate interim workspace issues.	Identify and recommend solutions to accommodate interim workspace issues	ADMIN	
4. Increase Patrol Staffing to Maintain 60/40 Discretionary vs. Tasked Time	Make recommendations on increases in patrol staffing to maintain discretionary patrol time.	Make recommendations on increases in patrol staffing to maintain discretionary patrol time.	Make recommendations on increases in patrol staffing to maintain discretionary patrol time.	ADMIN	

**Goal 3: Engage Rockwall**

**Initiative A: Increase Engagement**

	<b>Milestone 2020-2021</b>	<b>Milestone 2021-2022</b>	<b>Milestone 2022-2023</b>	<b>Entity Lead</b>	<b>Progress Update April 2021</b>
<b>1. Expand Neighborhood Crime Watches</b>	Establish & maintain 3 active crime watch groups	Solicit and incorporate feedback from officers and citizens to increase participation Add 2 new crime watch groups Evaluate impact on crime	Solicit and incorporate feedback from officers and citizens to increase participation Add 1 new crime watch group Evaluate impact on crime	<b>Community Services Unit</b>	
<b>2. Launch Business Crime Watch Groups</b>	Establish and Maintain 2 new business crime watch groups	Add 2 additional business crime watch groups Solicit feedback Evaluate effects on crime and safety	Add 2 additional business crime watch groups Solicit feedback Evaluate effects on crime and safety	<b>Community Services Unit</b>	
<b>3. Launch Business Police Academy (BPA)</b>	Develop course and at least once, host business leaders and teach common crime fighting strategies.	Establish BPA Alumni Association for continued engagement and success	Expand membership and develop alumni service projects & ways for continued contribution and success	<b>Community Services Unit</b>	
<b>4. Expand on Park, Walk and Talk</b>	Department to conduct 3 PW&T patrols weekly in the business corridor	Expand PW&T to more residential communities (anticipating safe to do so)	Seek community feedback via surveys on PW&T experiences Incorporate feedback	<b>PATROL &amp; COMMUNITY SERVICES UNIT</b>	

**Initiative B: Youth Engagement**

	<b>Milestone 2020-2021</b>	<b>Milestone 2021-2022</b>	<b>Milestone 2022-2023</b>	<b>Entity Lead</b>	<b>Progress Update April 2021</b>
<b>1. Youth Activities and Leadership League and Police Athletic League</b>	Develop Youth Engagement opportunities tailored to youth and officers' interests in partnership with Parks & Recreation	Evaluate and add/adjust topics/areas for youth involvement	Expand youth participation in all activities	<b>Community Services Unit</b>	
<b>2. Support and grow our Explorer Program</b>	Increase our recruiting and outreach efforts to add members to the post Add recruiting component to all community events.	Focus on "Character to Careers" component of the Explorers Program	Explore regional cooperative events with other posts	<b>Community Services Unit</b>	

**Goal 4: Modernize Technology**

Initiative: Upgrade and Deploy Technology

	Milestone 2020-2021	Milestone 2021-2022	Milestone 2022-2023	Entity Lead	Progress Update April 2021
<b>1. Broaden access to technology</b>	Add cellular phones to Patrol	Explore Computer Aided Dispatch apps for department cell phones	Broaden implementation of mobile technology	ADMIN	
<b>2. Update Bait Technology</b>	Upgrade technology in current bait items and vehicle	Refresh and expand quantity of bait items	Incorporate surveillance technology into bait vehicle for expanded use	PATROL	
<b>3. Add 3-D Laser Scanning for collision &amp; crime scene investigation</b>	Upgrade to FARO laser scanner unit for serious and fatal traffic investigations Incorporate into crime scene deployments	Increase efficiency and minimize clearance times for collisions Develop Crime Scene Team for more advanced capabilities	Increase officer proficiency with tools	TRAFFIC & PATROL	
<b>4. Upgrade Department's ability to manage incidents</b>	Update equipment in department's EOC Conduct 9-1-1 Public Safety Access Point (PSAP) resiliency study	Explore implementation of recommendations of PSAP Resiliency Study	Review technology solutions for improved public safety communications and update as warranted	ADMIN	

### Goal 5: Enrich Training

Initiative: Improve Quality and Consistency of Training

	Milestone 2020-2021	Milestone 2021-2022	Milestone 2022-2023	Entity Lead	Progress Update April 2021
1. Engage in recurring training for patrol	Standardize brief training at roll call meetings Present more in-depth training at quarterly intervals	Create dedicated training coordinator position to manage training Review and update training scenarios	Develop ideal recurring topics list with modular approach	PATROL	
2. Increase reality-based training opportunities	Host training sessions with other departments to supplement instructors	Add scenarios and seek additional training locations	Expand training scenarios and locations	PATROL	
3. Add joint training with RFD and other agencies	Schedule 2 joint training sessions this year with RFD.	Develop joint training opportunities to improve cross-agency communications Conduct table-top exercise	Develop training cadre across agencies for balance of manpower in training	PATROL	
4. Provide officers with needed skills to respond to those experiencing mental health issues	Achieve 33% of all sworn members trained	Achieve 66% of all sworn members trained	Achieve 100% all sworn members trained	PATROL	
5. Active Bystandership for Law Enforcement	Introduction to command staff and initial train-the-trainer sessions Department-wide implementation reinforcing support and fair treatment of officers	Begin annual refresher training Grow culture of active bystandership	Conduct refresher training and follow up	PATROL	

### Goal 6: Protect Workforce Wellbeing

Initiative: Aid in Research and Reduce Employee Stress

	Milestone 2020-2021	Milestone 2021-2022	Milestone 2022-2023	Entity Lead	Progress Update April 2021
1. Participate in Meadows Mental Health Policy Institute Stress Study	Develop and incorporate techniques to reduce officer stress	Expand officer health program to include stress reduction	Identify and adopt new ways of mitigating stress	PATROL	
2. Create Officer Health/Wellness Committee (Committee makeup TBD)	Develop/Host/Sponsor quarterly health/wellness events to support employees Research and develop recommendations for improvements to EAP program	Explore long-term solutions/programs for health/wellness	Implement successful policies to promote culture of physical and mental health among officers and civilians	TBD	



City of Rockwall  
*The New Horizon*

## MEMORANDUM

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**TO:** Mayor and City Council  
**FROM:** Rick Crowley, City Manager  
**DATE:** December 3, 2020  
**SUBJECT:** Submittal of Future Projects to Consortium

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The Rockwall County Roadway Consortium has requested that all cities submit future projects (in addition to those currently noted in Consortium planning) lists for consideration for future transportation projects when additional funding is available. Some funds remain from the \$117M that was made available by the County in the past, and there is some thought that additional funding might be available in the not so distant future for other projects.

It should be noted that State roadway projects in which the County (through the Consortium process) has participated have been many – many of those have been in the City of Rockwall (partially or wholly). All of the state roadway projects that have been done have included funding from federal, state, county and local funds, but participation by the County (through the Consortium) has resulted in securing state and federal funding much quicker than would otherwise have been the case and significantly reduced the local funding portion – a great deal for the cities all around.

This new “call for projects” differs from previous project planning in that it is not limited to state roadways. Projects submitted (including major city and county roadways) will be considered and evaluated based on their contributions to reducing congestion and moving traffic (throughout the county and in cities) if constructed. This, again, emphasizes how valuable the work of the Consortium is and how far ahead of others that Rockwall County and its cities are as compared to others.

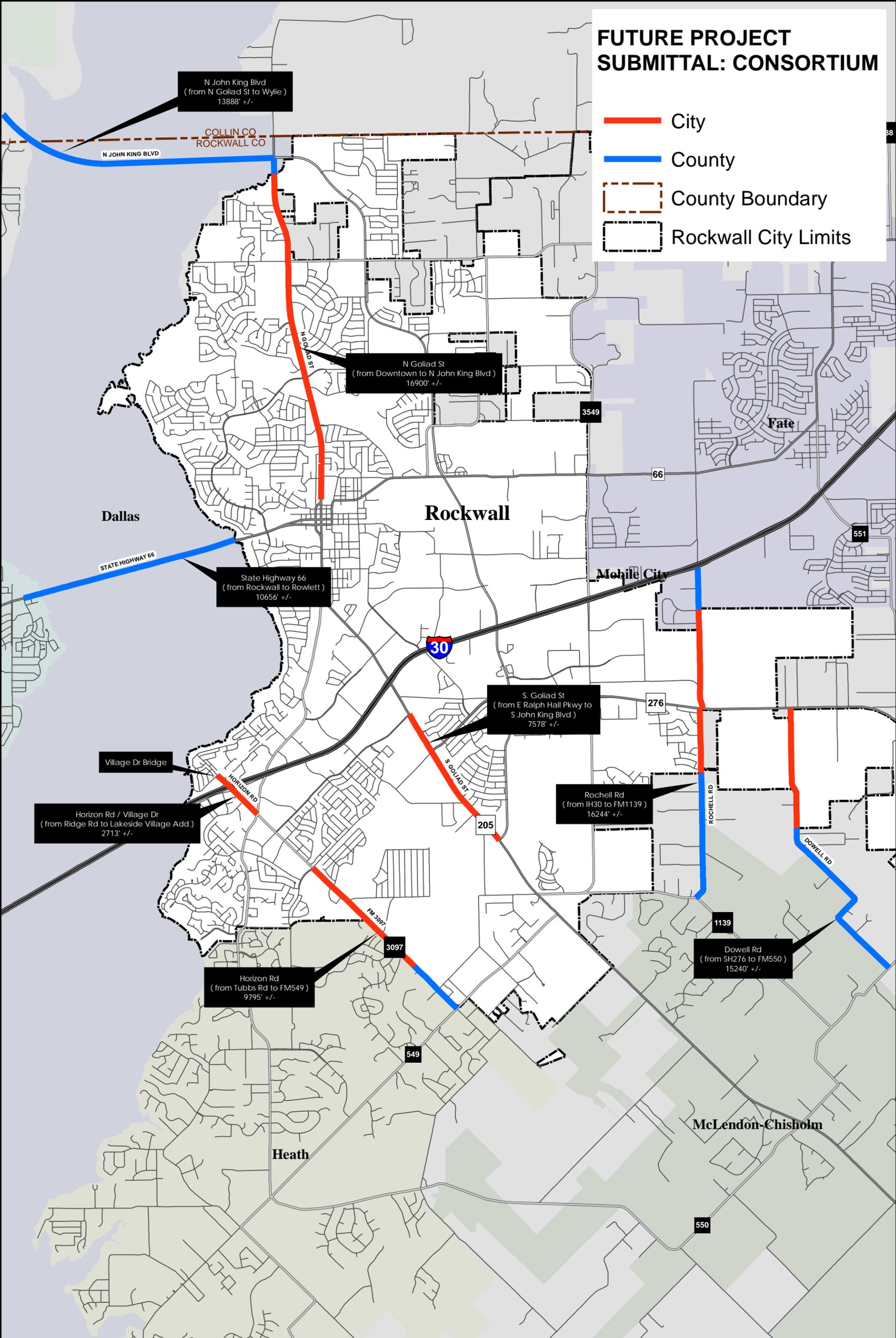
Every project that will be submitted will not be funded through the process, but even those projects that may not be funded will have the benefit of being included on the “Consortium list.” We have learned the value of this a number of times as we have sought both funding and favor for projects that are of great importance to the city. For example, the City of Rockwall’s efforts to secure approval and funding of the John King route for SH205 received dramatically improved favor once included on the County’s Thoroughfare Plan, endorsed by the

Consortium, and declared a viable route by NCTCOG – all of this results from the fact that the Consortium carries great weight with TxDOT and other agencies that participate in planning and funding.

The Rockwall projects proposed for submittal to the Consortium for future consideration are shown on the attached drawing. It is requested that the Council consider whether these are additional projects that should be added to the submittal, and, after any such additions, that the City Council take action to authorize the submittal. If approved the submittal will be forwarded to the Consortium on Tuesday.

# FUTURE PROJECT SUBMITTAL: CONSORTIUM

- City
- County
- County Boundary
- Rockwall City Limits



**City of  
Rockwall**



0 2,500 5,000 Feet

ROCKWALL GIS

Date: 12/3/2020